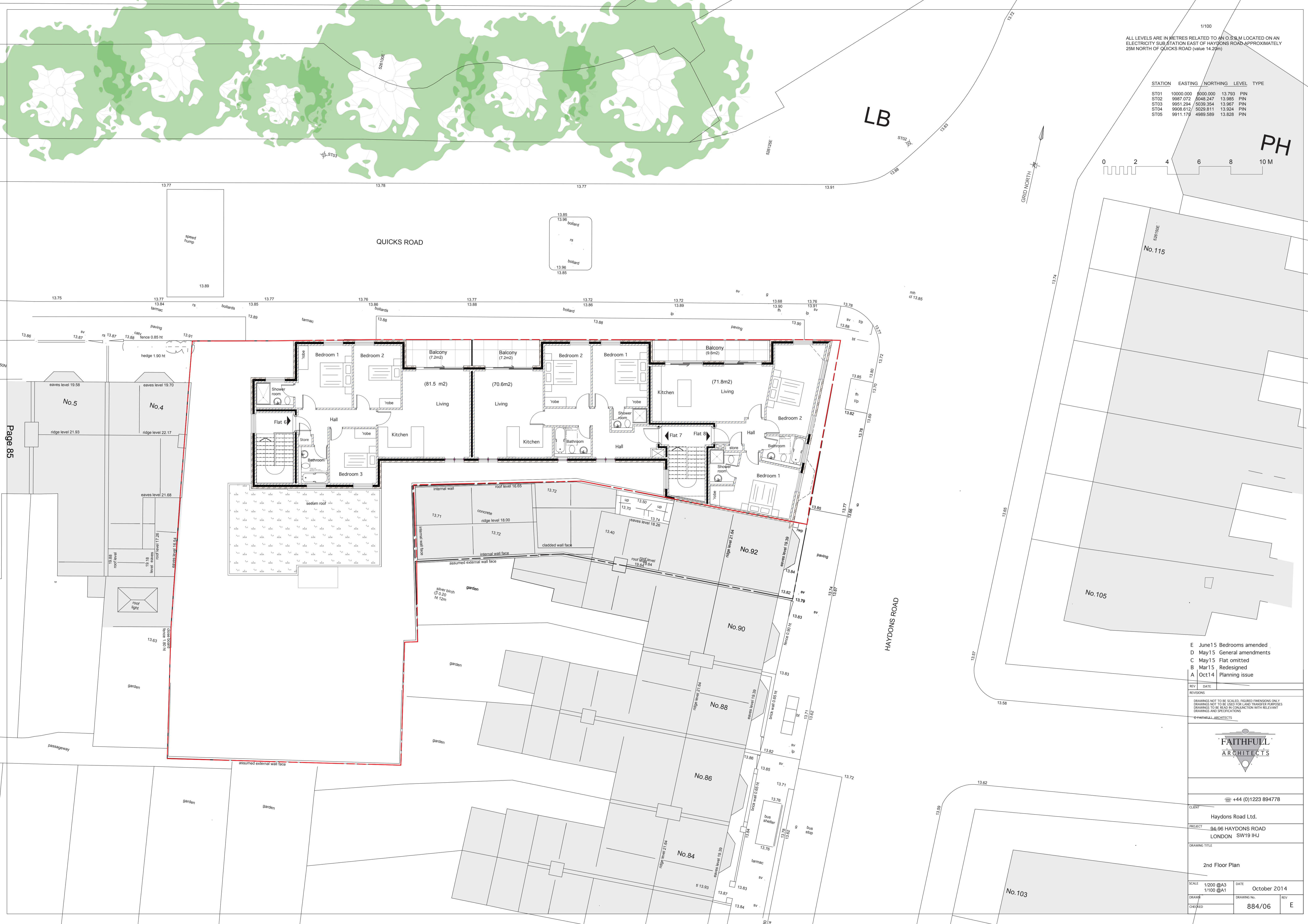
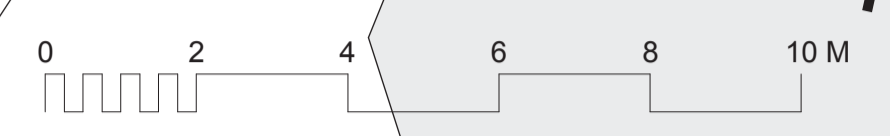


ALL LEVELS ARE IN METRES RELATED TO AN O.S.M. LOCATED ON AN ELECTRICITY SUB-STATION EAST OF HAYDONS ROAD APPROXIMATELY 25M NORTH OF QUICKS ROAD (value 14.2m)

STATION	EASTING	NORTHING	LEVEL	TYPE
ST01	10000.000	5000.000	13.793	PIN
ST02	9987.072	5048.247	13.985	PIN
ST03	9951.204	5039.354	13.967	PIN
ST04	9908.612	5029.811	13.924	PIN
ST05	9911.177	4989.589	13.828	PIN



Page 85

- E June15 Bedrooms amended
- D May15 General amendments
- C May15 Flat omitted
- B Mar15 Redesigned
- A Oct14 Planning issue

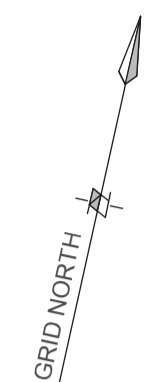
REV	DATE	REVISIONS



CLIENT	+44 (0)1223 894778		
PROJECT	Haydons Road Ltd. 94-96 HAYDONS ROAD LONDON SW19 1HJ		
DRAWING TITLE	2nd Floor Plan		
SCALE	1/200 @A3	DATE	October 2014
DRAWN	1/100 @A1	DRAWING No.	884/06
CHECKED		REV	E

ALL LEVELS ARE IN METRES RELATED TO AN O.S.M. LOCATED ON AN ELECTRICITY SUB STATION EAST OF HAYDONS ROAD APPROXIMATELY 25M NORTH OF QUICKS ROAD (value 14.2m)

STATION	EASTING	NORTHING	LEVEL	TYPE
ST01	10000.000	5000.000	13.793	PIN
ST02	9987.072	5048.247	13.985	PIN
ST03	9951.204	5039.354	13.987	PIN
ST04	9908.612	5029.811	13.924	PIN
ST05	9911.177	4989.589	13.828	PIN



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C	May15	General amendments
B	Mar15	Redesigned
A	Oct14	Planning issue

REVISIONS
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DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT
DRAWINGS AND SPECIFICATIONS

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PROJECT 94-96 HAYDONS ROAD
LONDON SW19 1HJ

DRAWING TITLE
3rd Floor Plan

SCALE 1/200 @A3 DATE October 2014

DRAWN 1/100 @A1 DRAWING No. 884/07

CHECKED REV C

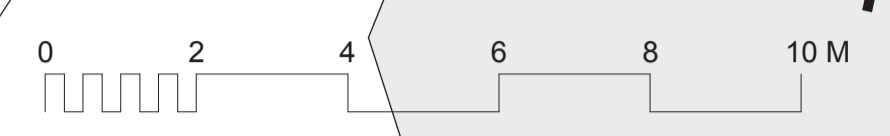
Schedule of accommodation:

Ground:
A = A1/A2/B1 @ 177.5m²

- 1 3-bed @ 99.3m²
- 1st Floor:
- 2 1-bed @ 50.4m²
- 3 2-bed @ 70.0m²
- 4 2-bed @ 70.3m²
- 5 2-bed @ 70.5m²
- 2nd Floor:
- 6 3-bed @ 81.5m²
- 7 2-bed @ 70.6m²
- 8 2-bed @ 71.8m²
- 3rd Floor:
- 9 3-bed @ 75.3m²

ALL LEVELS ARE IN METRES RELATED TO AN O.S.M. LOCATED ON AN ELECTRICITY SUB-STATION EAST OF HAYDONS ROAD APPROXIMATELY 25M NORTH OF QUICKS ROAD (value 14.2m)

STATION	EASTING	NORTHING	LEVEL	TYPE
ST01	10000.000	5000.000	13.793	PIN
ST02	9987.072	5048.247	13.985	PIN
ST03	9951.204	5039.354	13.987	PIN
ST04	9908.612	5029.811	13.924	PIN
ST05	9911.179	4989.589	13.828	PIN



Page 87

- C May15 General amendments
- B Nov14 Section C-C added
- A Oct14 Planning issue

REV	DATE	DESCRIPTION



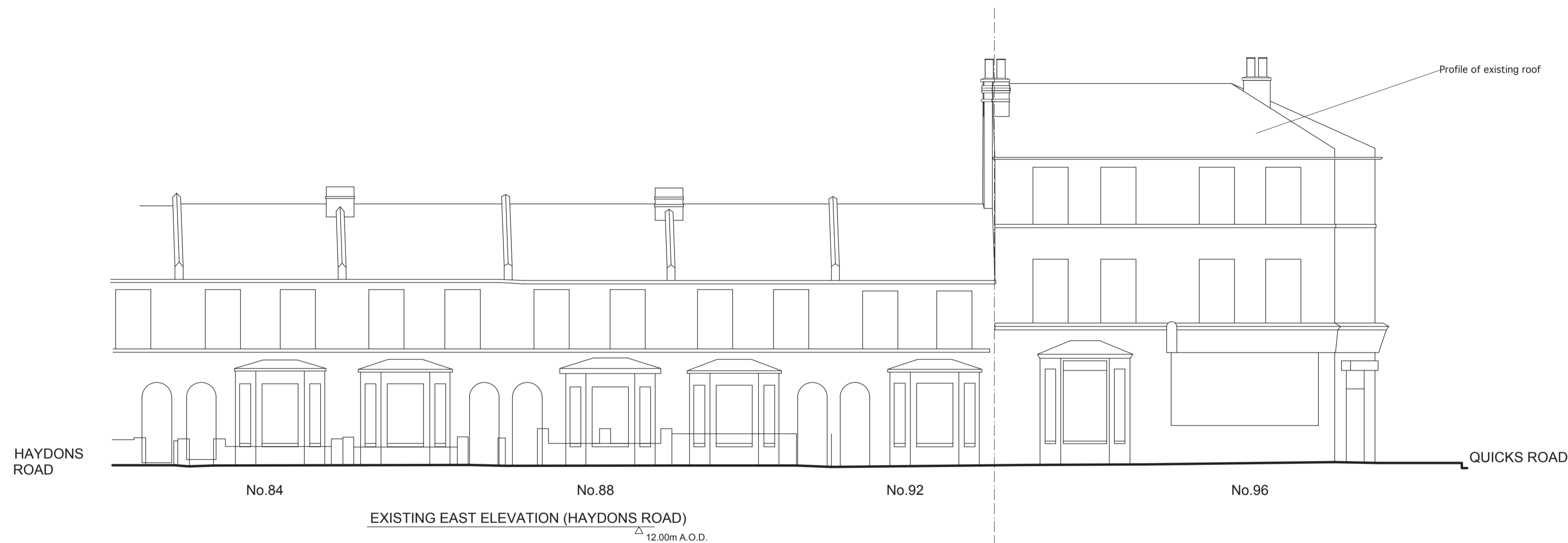
CLIENT: +44 (0)1223 894778
 Haydons Road Ltd.
 PROJECT: 94-96 HAYDONS ROAD
 LONDON SW19 1HJ
 DRAWING TITLE: Roof Level Plan

SCALE	DATE
1/200 @A3	October 2014
1/100 @A1	
DRAWN	DRAWING No.
CHECKED	REV

884/08 C

Materials:

- Roof: Single-ply Polymer-membrane with areas for services and PV panels.
- Walls: Part multi-stock brickwork and part reconstructed stone fibre-cement 'rainscreen' cladding and panelling with reconstituted stone cills, copings. Zinc cladding to roof level
- Windows: Powder-coated 'Velfac' double-glazed windows.
- Patio Doors: Powder-coated Al. sliding patio doors with double-glazed sealed glazing units.
- Front doors: Powder-coated Al. double-glazed doors and frames.
- Balustrading: Frameless SS on structural glazing system.
- Shop-front: To Tenant requirements.



- Roof
- 3rd Floor
- 2nd Floor
- 1st Floor
- Ground Floor



B May15 General amendments
 A Oct14 Planning issue

REV	DATE	DESCRIPTION

REVISIONS
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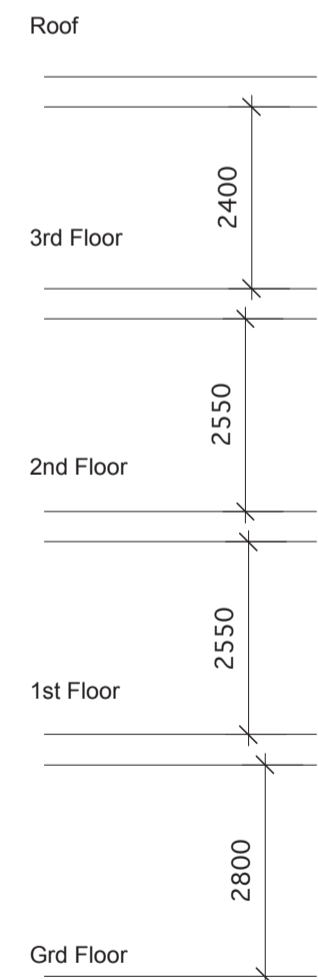
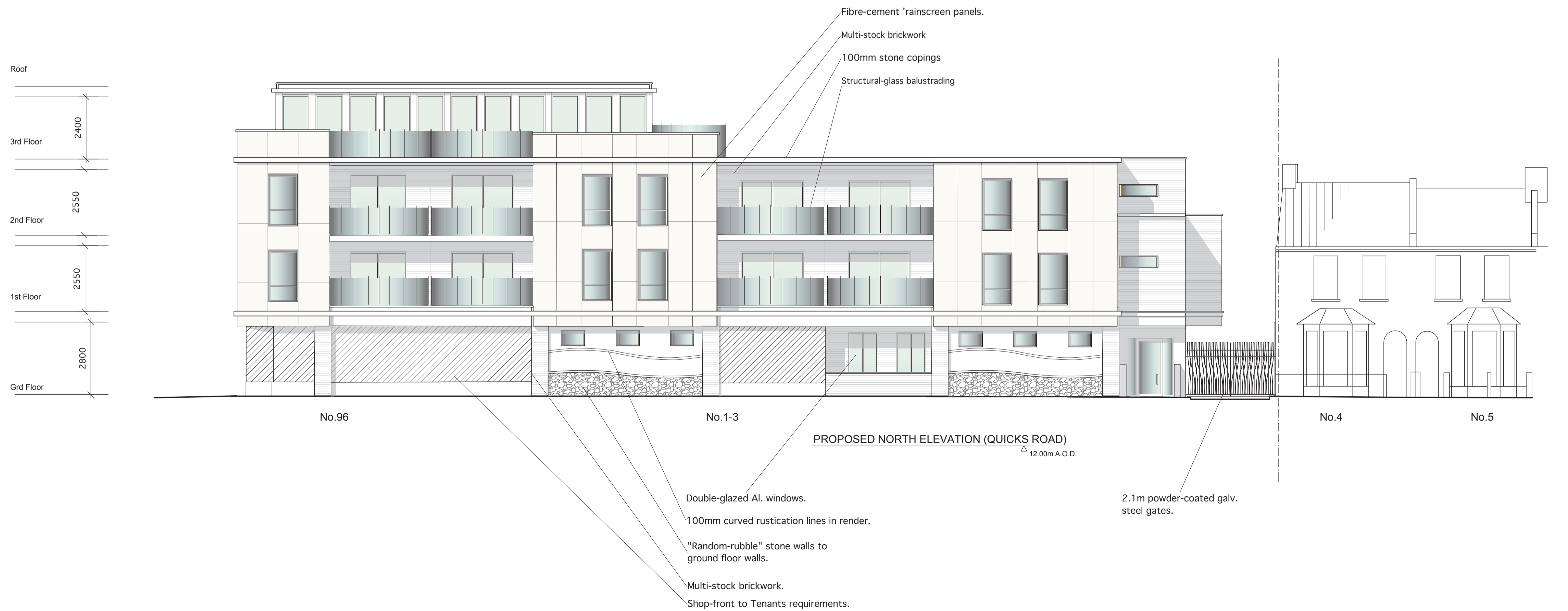
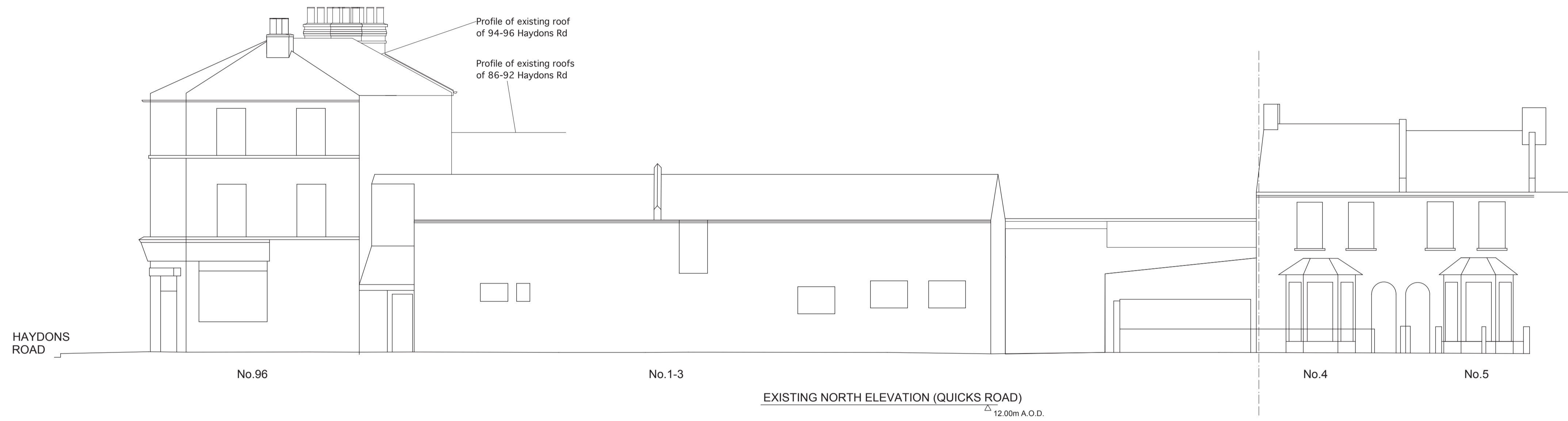
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 Haydons Road Ltd.
 PROJECT
 94-96 HAYDONS ROAD
 LONDON SW19 1HJ

DRAWING TITLE
 Elevations

SCALE	DATE	REV
1/200 @A3 1/100 @A1	October 2014	B
DRAWN	DRAWING No.	884/10
CHECKED		

- Materials:**
- Roof: Single-ply Polymer-membrane with areas for services and PV panels.
 - Walls: Part multi-stock brickwork and part reconstructed stone fibre-cement 'rainscreen' cladding and panelling with reconstituted stone cills, copings. Glazed cladding to roof level
 - Windows: Powder-coated 'Velfac' double-glazed windows.
 - Patio Doors: Powder-coated Al. sliding patio doors with double-glazed sealed glazing units.
 - Front doors: Powder-coated Al. double-glazed doors and frames.
 - Balustrading: Frameless SS on structural glazing system.
 - Shop-front: To Tenant requirements.



C	May15	General amendments
B	Mar15	Redesigned
A	Oct14	Planning issue

REVISIONS

REV DATE

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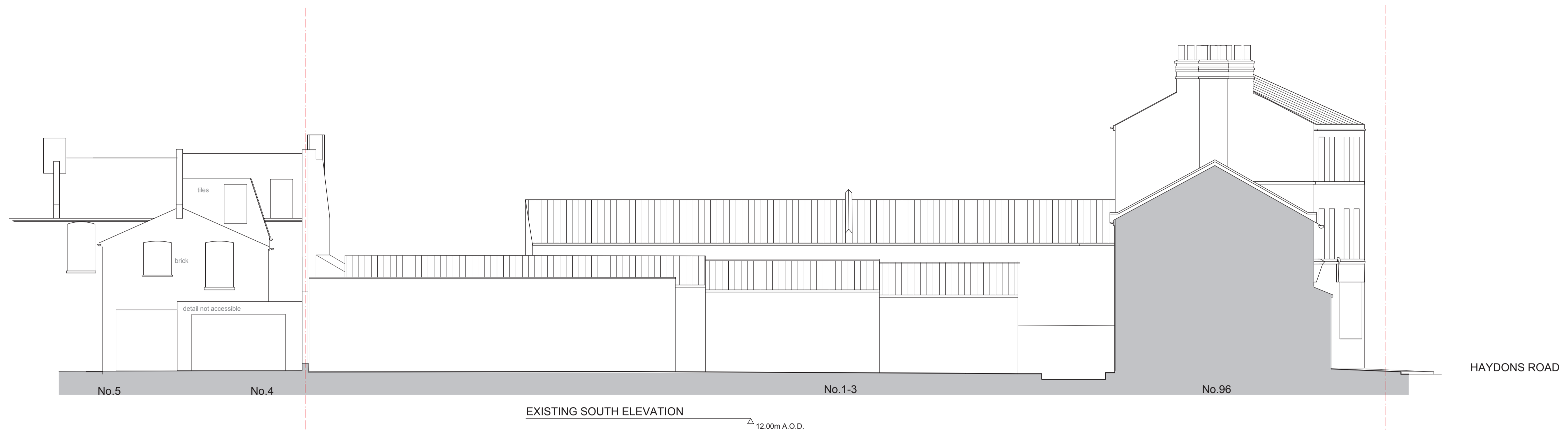
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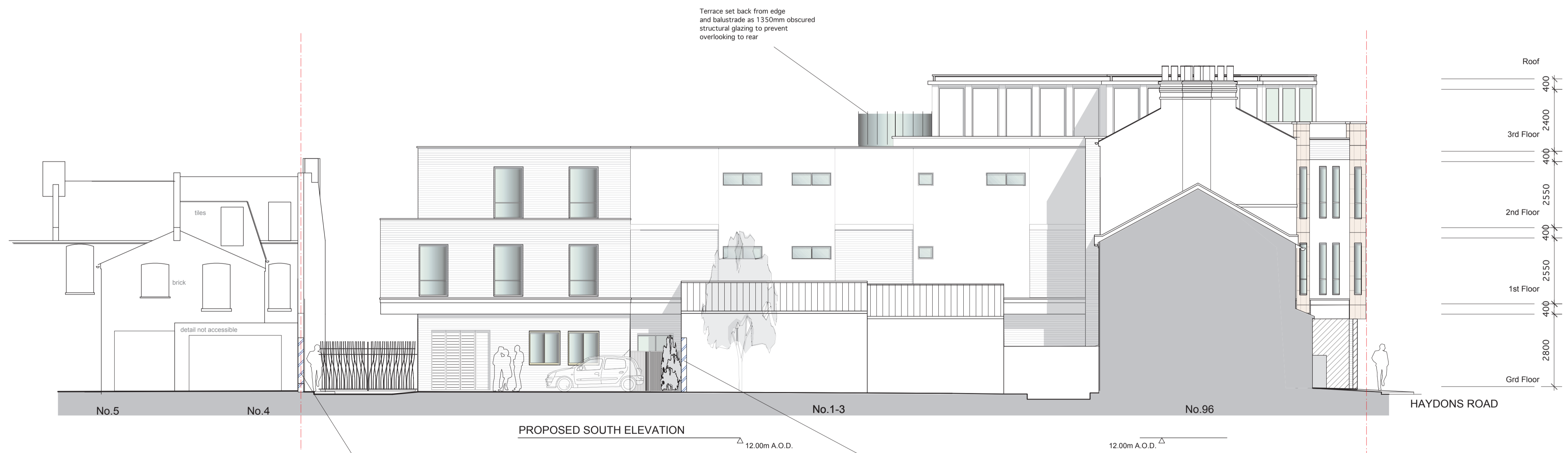
PROJECT
94-96 HAYDONS ROAD
LONDON SW19 1HJ

DRAWING TITLE
Elevations

SCALE	1/200 @A3 1/100 @A1	DATE	October 2014
DRAWN		DRAWING No.	884/09
CHECKED		REV	C



EXISTING SOUTH ELEVATION
12.00m A.O.D.



PROPOSED SOUTH ELEVATION
12.00m A.O.D.

Replace boundary walls with 2.1m high 215mm walls in multi-stock bricks.

Replace boundary walls with 2.1m high 215mm walls in multi-stock bricks.

B May15 General amendments	
A Oct14 Planning issue	
REV	DATE
REVISIONS	
DRAWINGS NOT TO BE SCALED, FIGURED DIMENSIONS ONLY DRAWINGS NOT TO BE USED FOR LAND TRANSFER PURPOSES DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWINGS AND SPECIFICATIONS	
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CLIENT	Haydons Road Ltd.
PROJECT	94-96 HAYDONS ROAD LONDON SW19 1HJ
DRAWING TITLE	Rear Elevations
SCALE	1/200 @A3 1/100 @A1
DATE	October 2014
DRAWN	DRAWING No.
CHECKED	884/11
REV	B