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157 Arthur Rd

Scale 1/1250

Date 10/3/2015

London Borough of Merton  
 100 London Road  
 Morden  
 Surrey  
 SM4 5DX

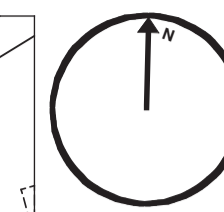


DEVELOPMENT CONTROL

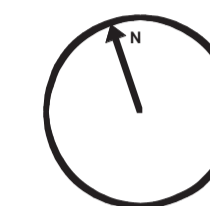
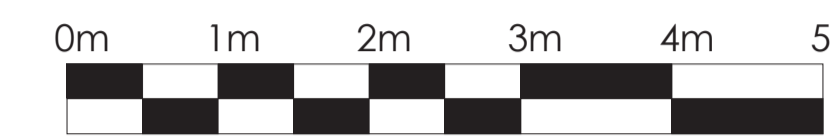
Alternative means of access- existing

Existing long established access from Farquhar Road. Applicant has a legal right of access.

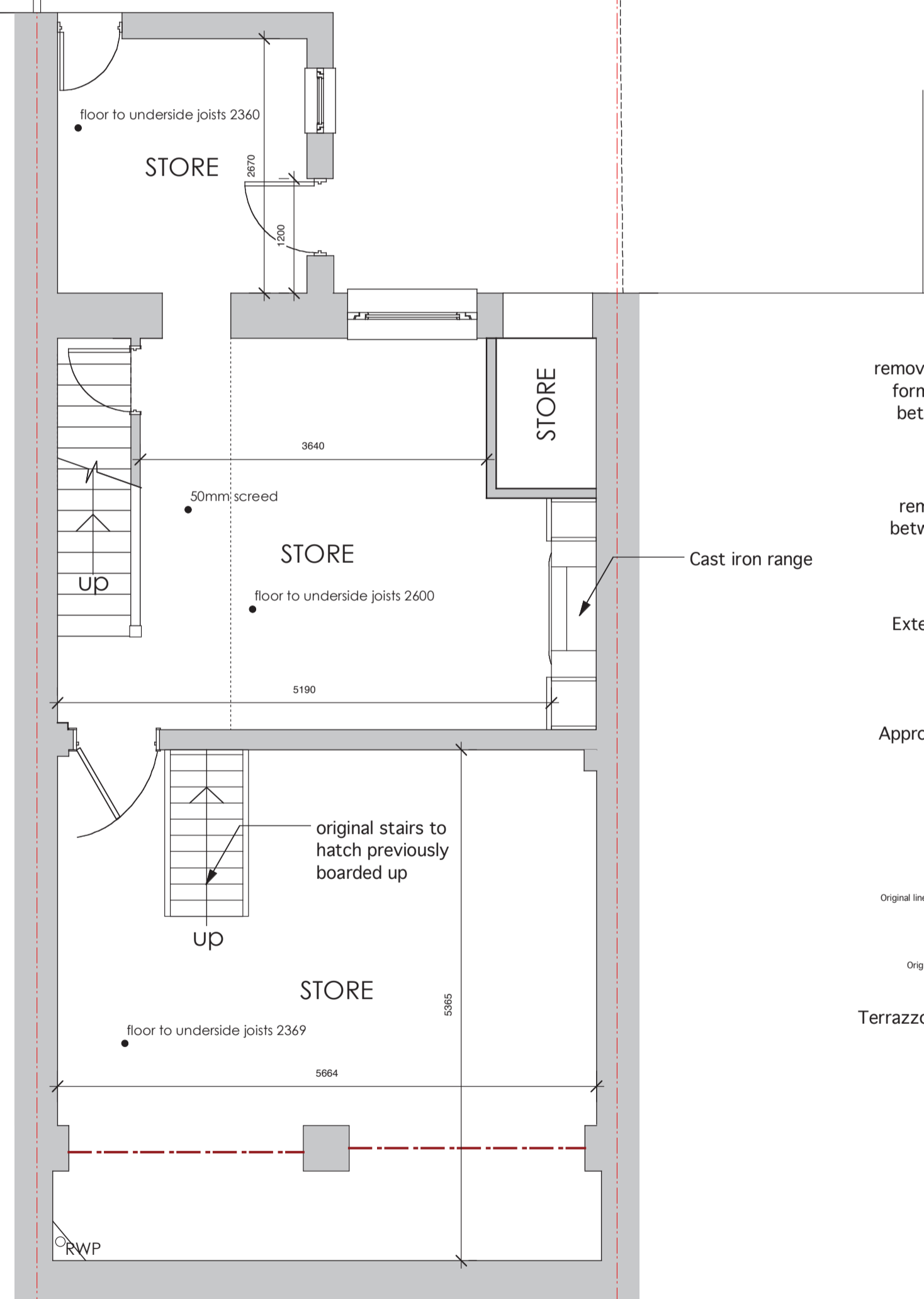
Disused garden space



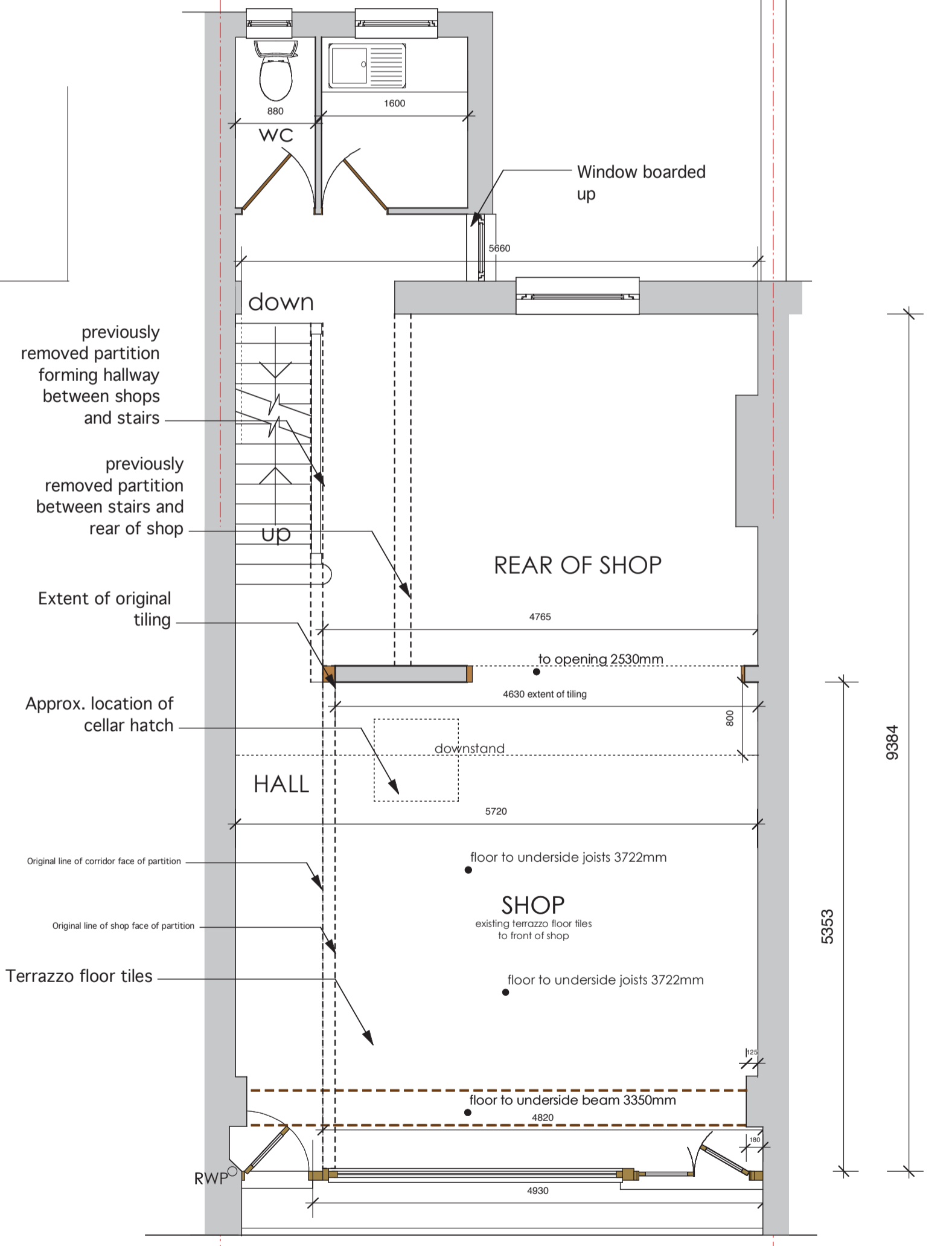
SITE PLAN 1:1250  
(No. 157, Arthur Road)



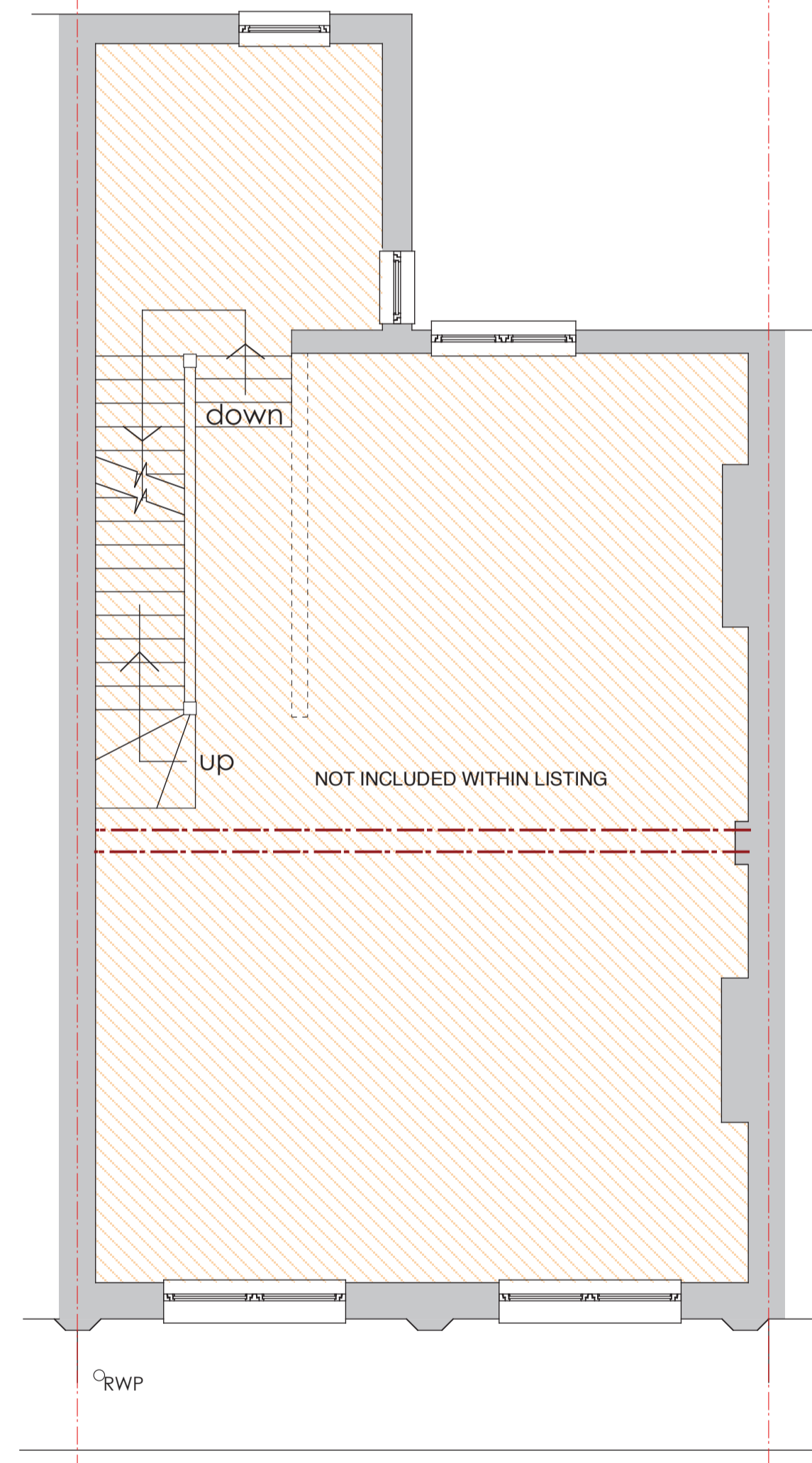
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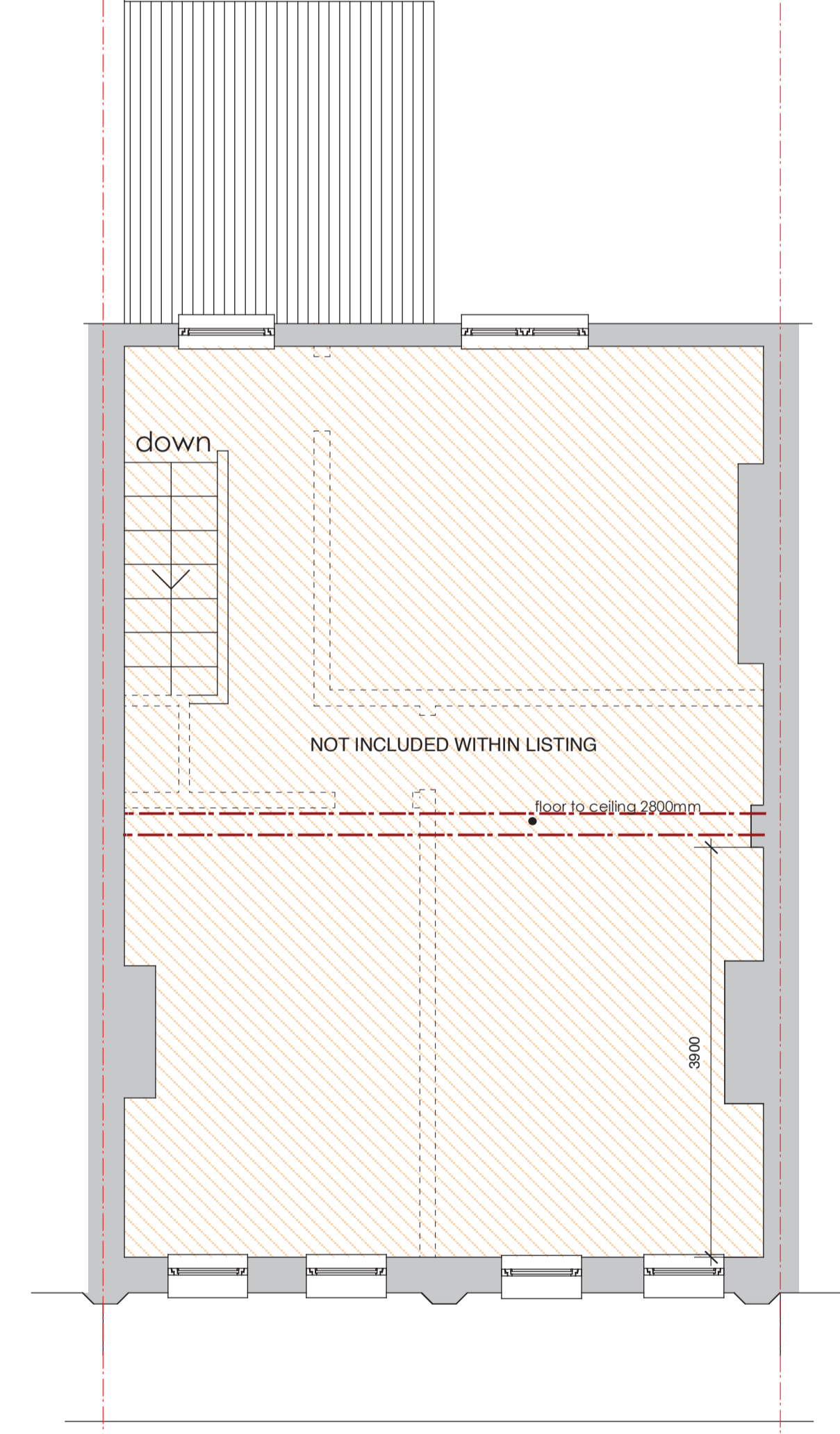
**BASEMENT FLOOR 1:50**



**GROUND FLOOR 1:50**



**FIRST FLOOR 1:50**



**SECOND FLOOR 1:50**

**drawing notes:**  
This Drawing must not be scaled; only figured dimensions should be used. Large scale Drawings are to be preferred to small scale Drawings in case of discrepancy. This Drawing should not be used for land transfer. This Drawing should not be used in isolation. If there are any discrepancies, or contradictions between this and other information, it should be brought to the Architect's attention. Any Adjoining Buildings/Landscape Features shown are for illustrative purposes only and have not been formally surveyed for this Drawing unless noted otherwise. This Drawing and the information contained therein are the copyright of the Architects, and must not be reproduced in part or whole, or disclosed to third parties, unless agreed in writing with H&C Architects LLP.

project:  
**157 ARTHUR ROAD, WIMBLEDON**

client:  
**Mr T Reed**

Revision notes: A - Updates as of 2014. Check Dims Dec 2014  
Revision notes: B - Updates as of March 2015

drawing title: <b>EXISTING ARRANGEMENT</b>				
date <b>AUG 12</b>	scale 1:50 @ A1	project no <b>2246</b>	drawing no <b>S02</b>	revision <b>B</b>



Mansard roof extension approved in 2010 ref 10/P1706. NB no 161 has similar roof extension.

**REAR ELEVATION 1:50  
(No. 157, Arthur Road)**



**FRONT ELEVATION 1:50  
(No. 157, Arthur Road)**

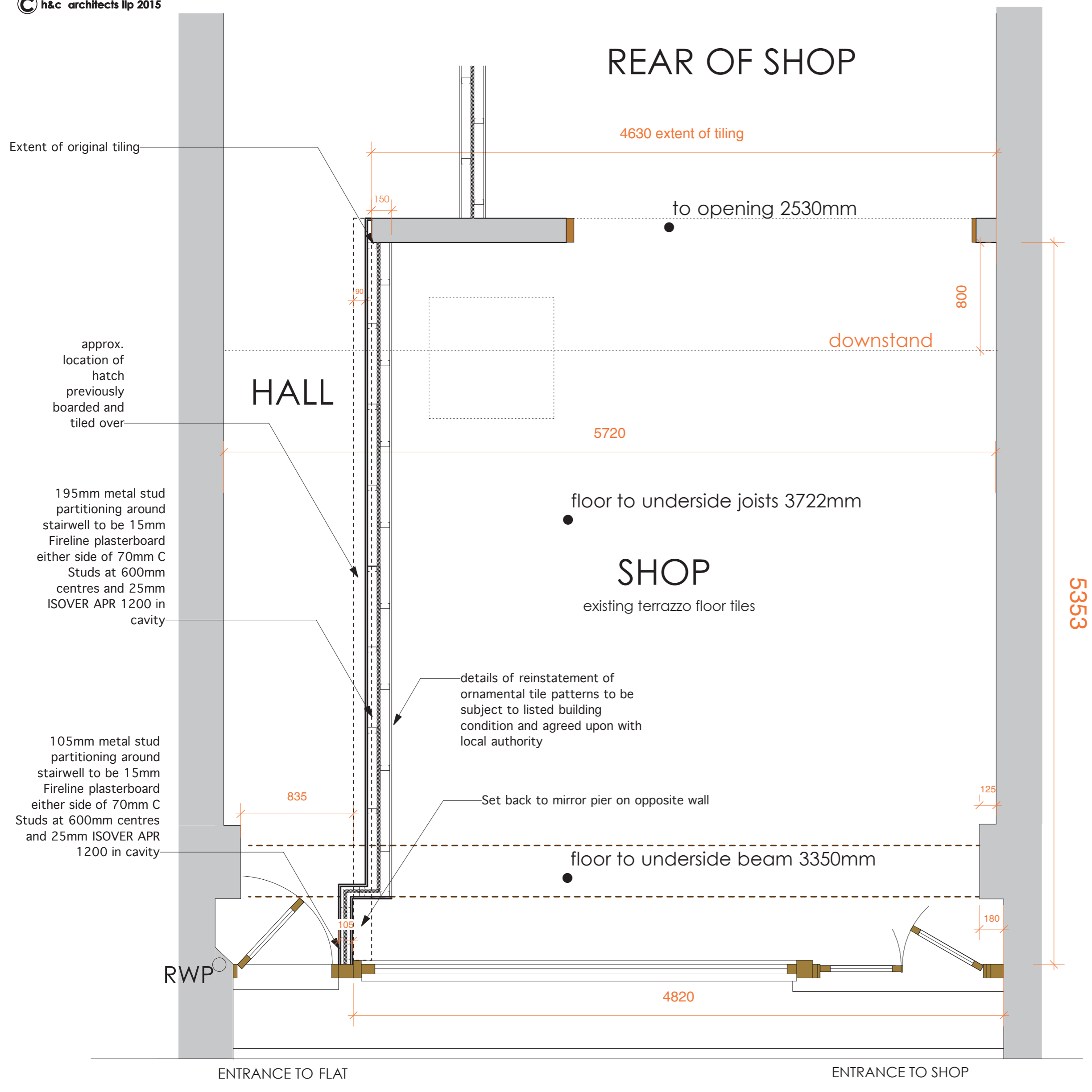
**drawing notes:**  
This Drawing must not be scaled; only figured dimensions should be used. Large scale Drawings are to be preferred to small scale Drawings in case of discrepancy. This Drawing should not be used for land transfer. This Drawing should not be used in isolation. If there are any discrepancies, or contradictions between this and other information, it should be brought to the Architect's attention. Any Adjoining Buildings/Landscape Features shown are for illustrative purposes only and have not been formally surveyed for this Drawing unless noted otherwise. This Drawing and the information contained therein are the copyright of the Architects, and must not be reproduced in part or whole, or disclosed to third parties, unless agreed in writing with H&C Architects LLP.

**project:**  
157 ARTHUR ROAD, WIMBLEDON

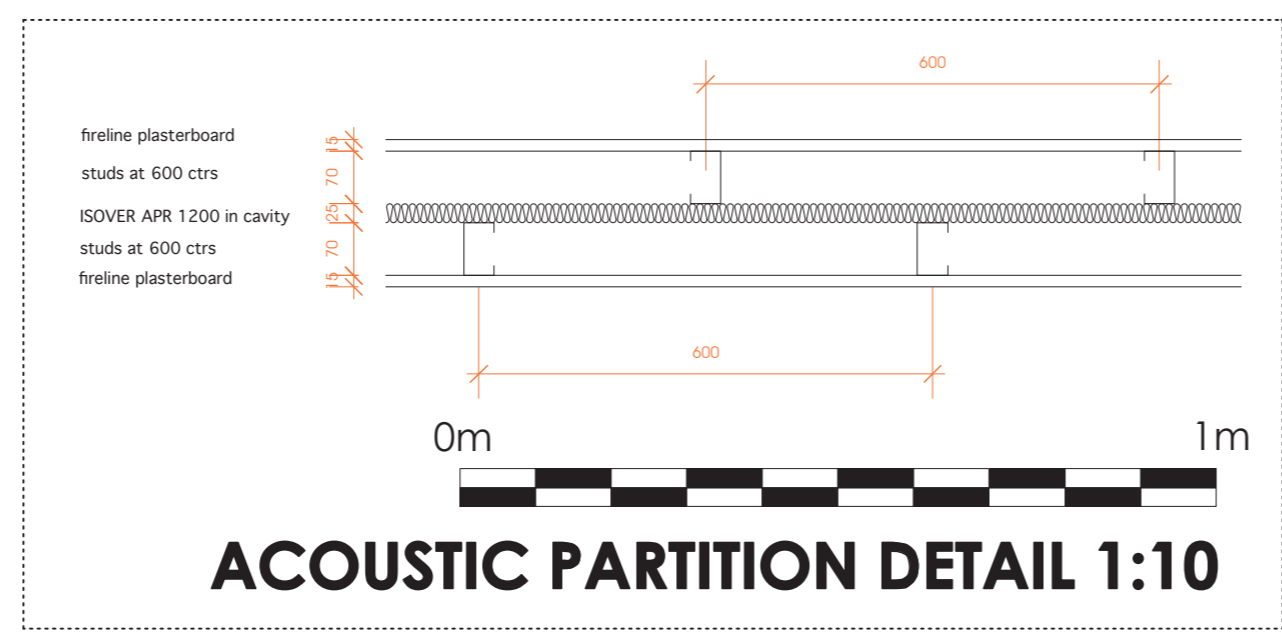
**client:**  
Mr T Reed

Revision notes: Shop front check dims (dec 2014)

<b>drawing title:</b> EXISTING ARRANGEMENT				
<b>date</b> AUG 12	<b>scale</b> 1:50 @ A1	<b>project no</b> 2246	<b>drawing no</b> S03	<b>revision</b> <b>A</b>



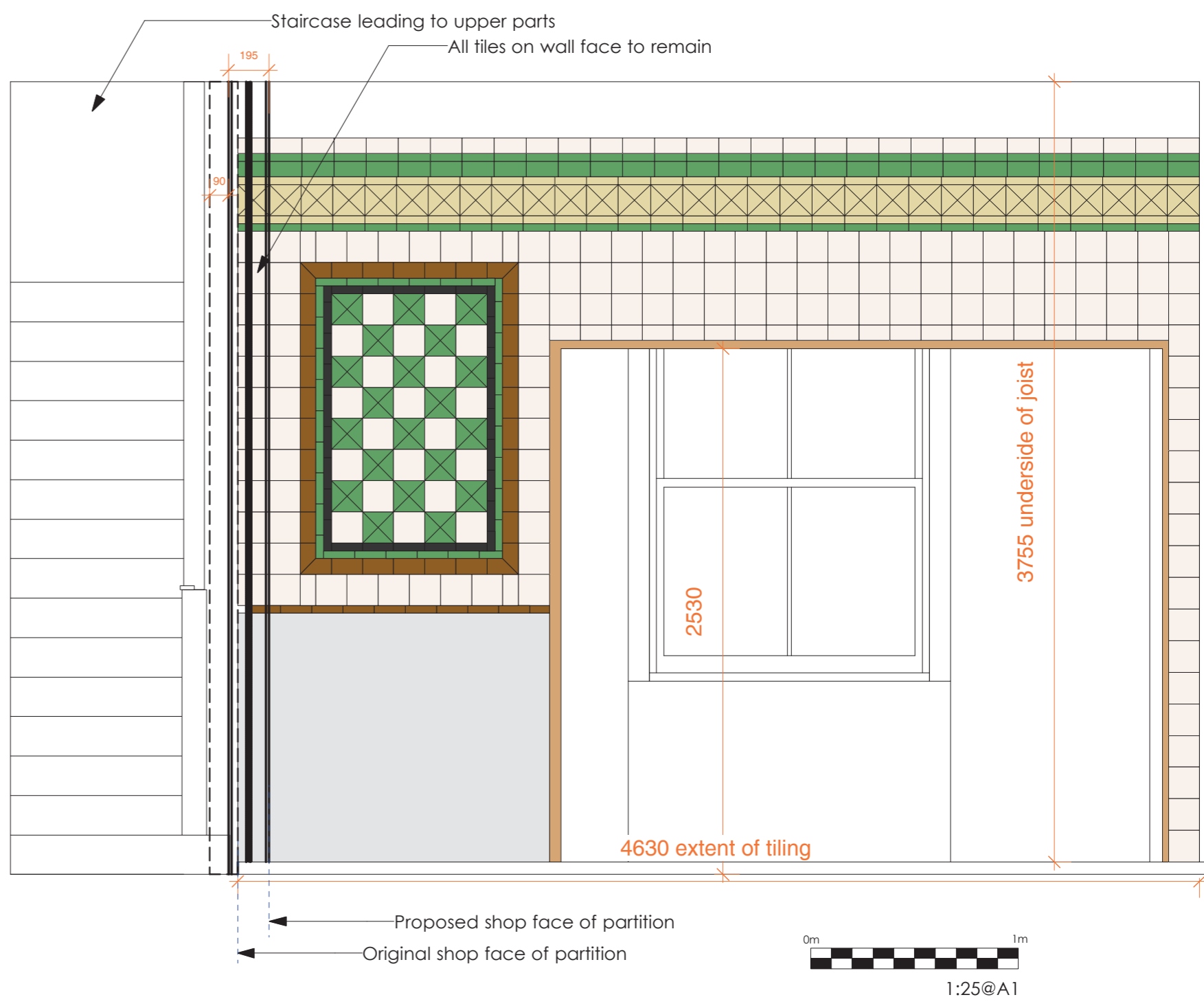
**PROPOSED PLAN 1:25**



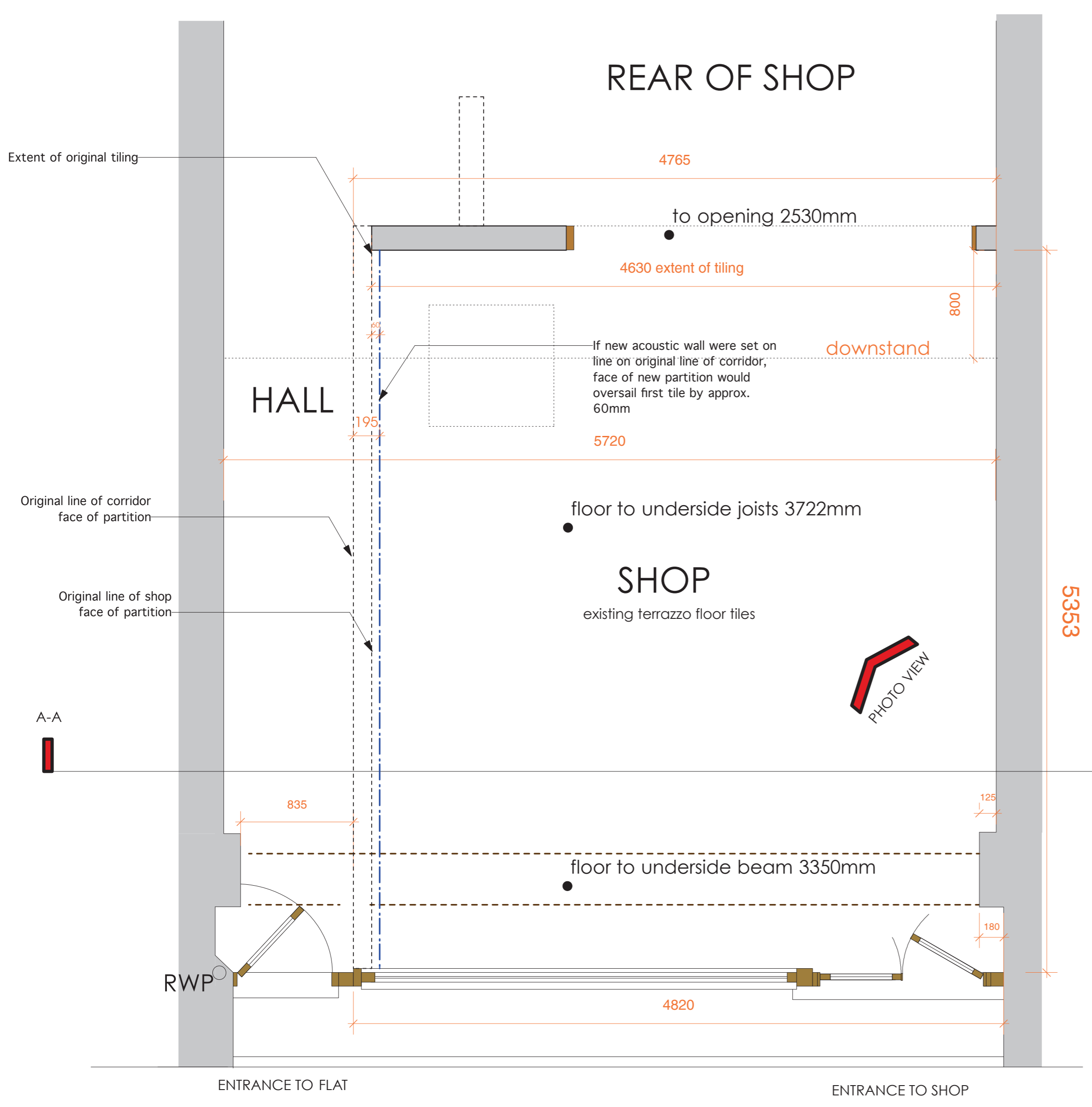
**ACOUSTIC PARTITION DETAIL 1:10**



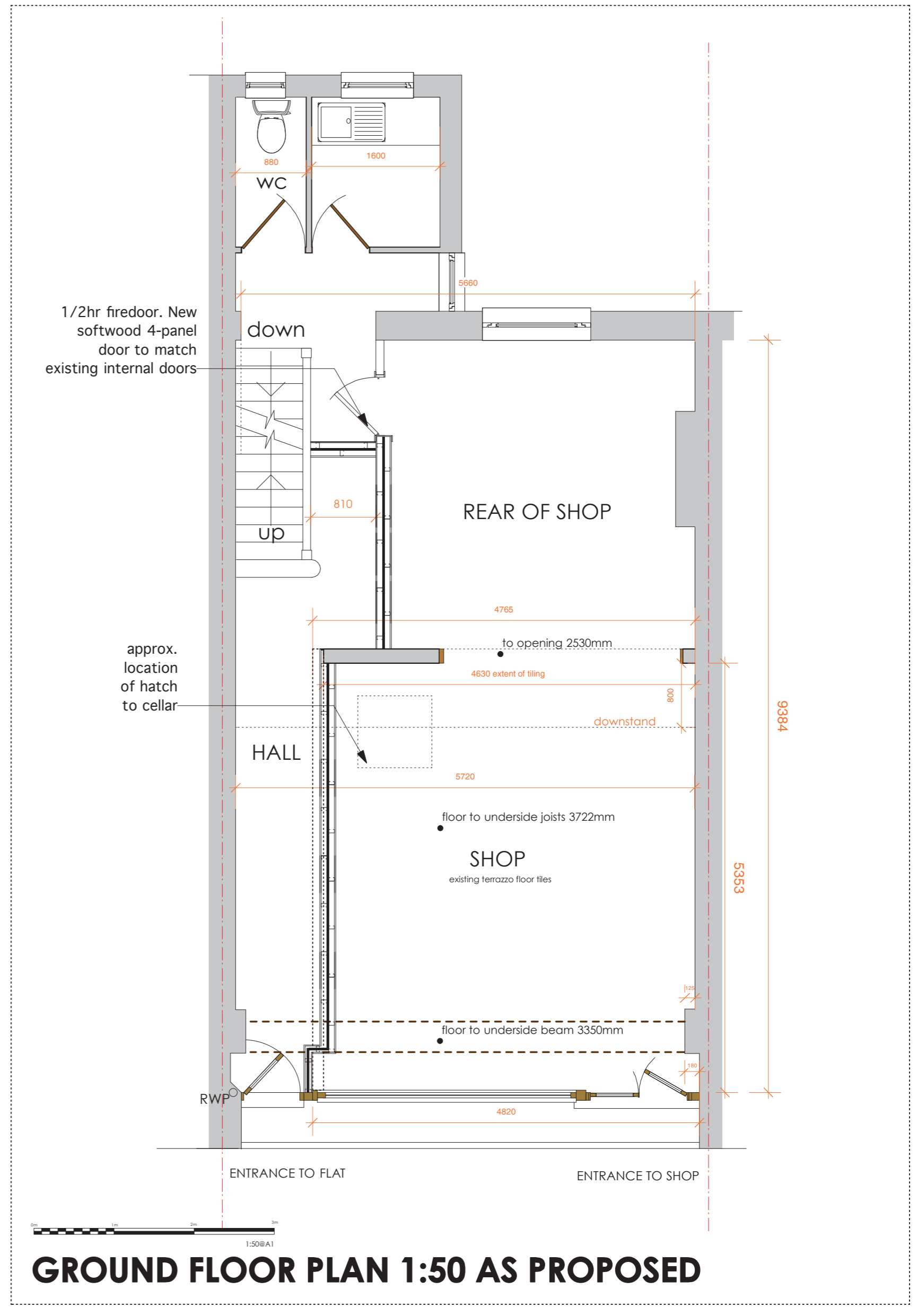
**PHOTO OF SHOP AS OF LISTING DATE**



**SECTION A-A AS PROPOSED 1:25**



**EXISTING PLAN 1:25 (as of listing date)**



**GROUND FLOOR PLAN 1:50 AS PROPOSED**

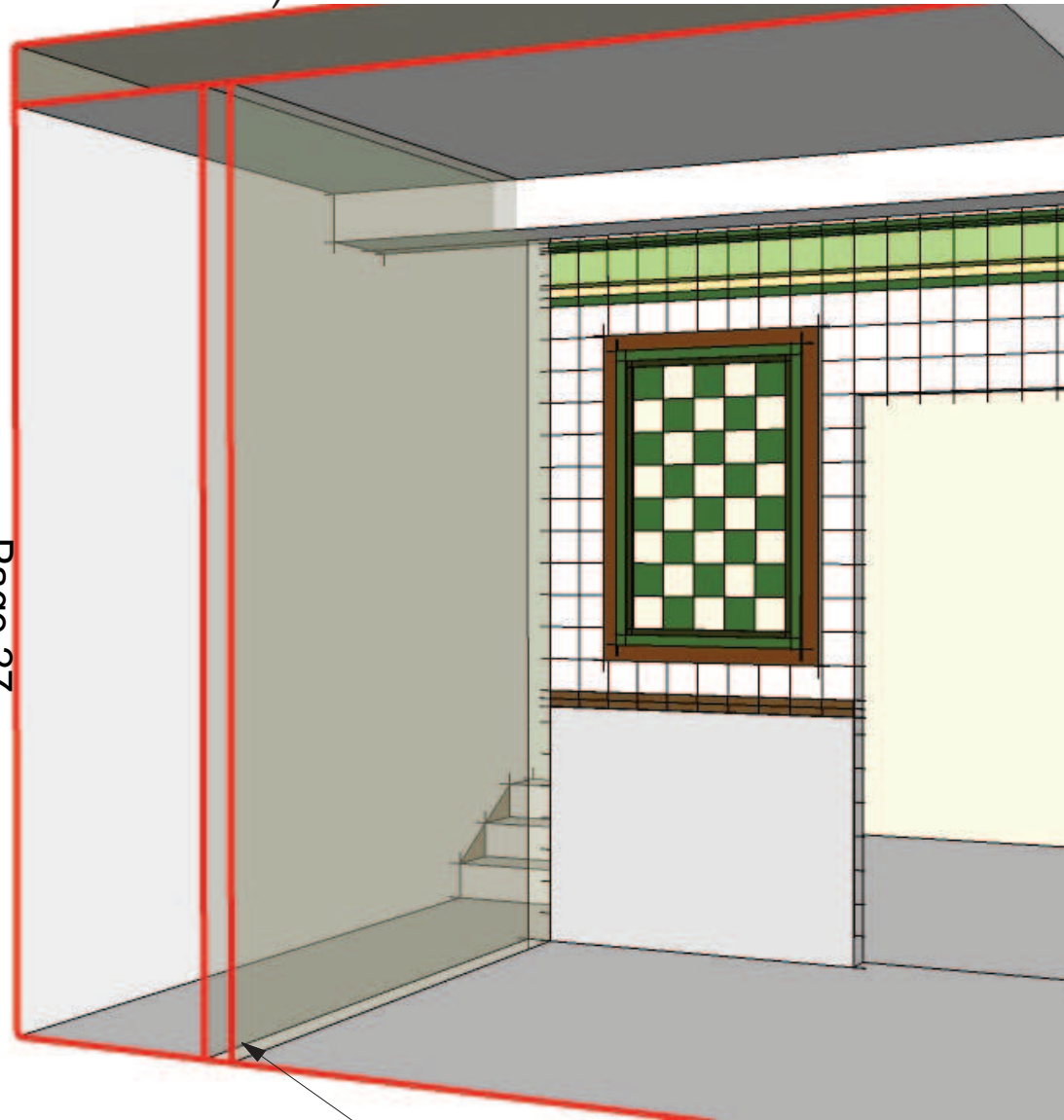
drawing notes: This Drawing must not be scaled; only figured dimensions should be used. Critical site dims checked before proceeding. Large scale Drawings are to be preferred to small scale Drawings in case of discrepancy. This Drawing should not be used for land transfer. This Drawing should not be used in isolation, if there are any discrepancies, or contradictions between this and other information, it should be brought to the Architect's attention. Any Adjoining Buildings/Landscape Features shown are for illustrative purposes only and have not been formally surveyed for this Drawing unless noted otherwise. This Drawing and the information contained therein are the copyright of the Architects, and must not be reproduced in part or whole, or disclosed to third parties, unless agreed in writing with H&C Architects LLP.

project: **157 Arthur Road, Wimbledon**

client: **Mr T Reed**

Revision notes:				
drawing title: Comparative Plans				
date	scale	project no	drawing no	revision
March 2015	1:25@A1 & 1:50 @A1	2246	LBA04	

3D IMAGE OF ORIGINAL PARTITION ARRANGEMENT ( REMOVED PRIOR TO LISTING)



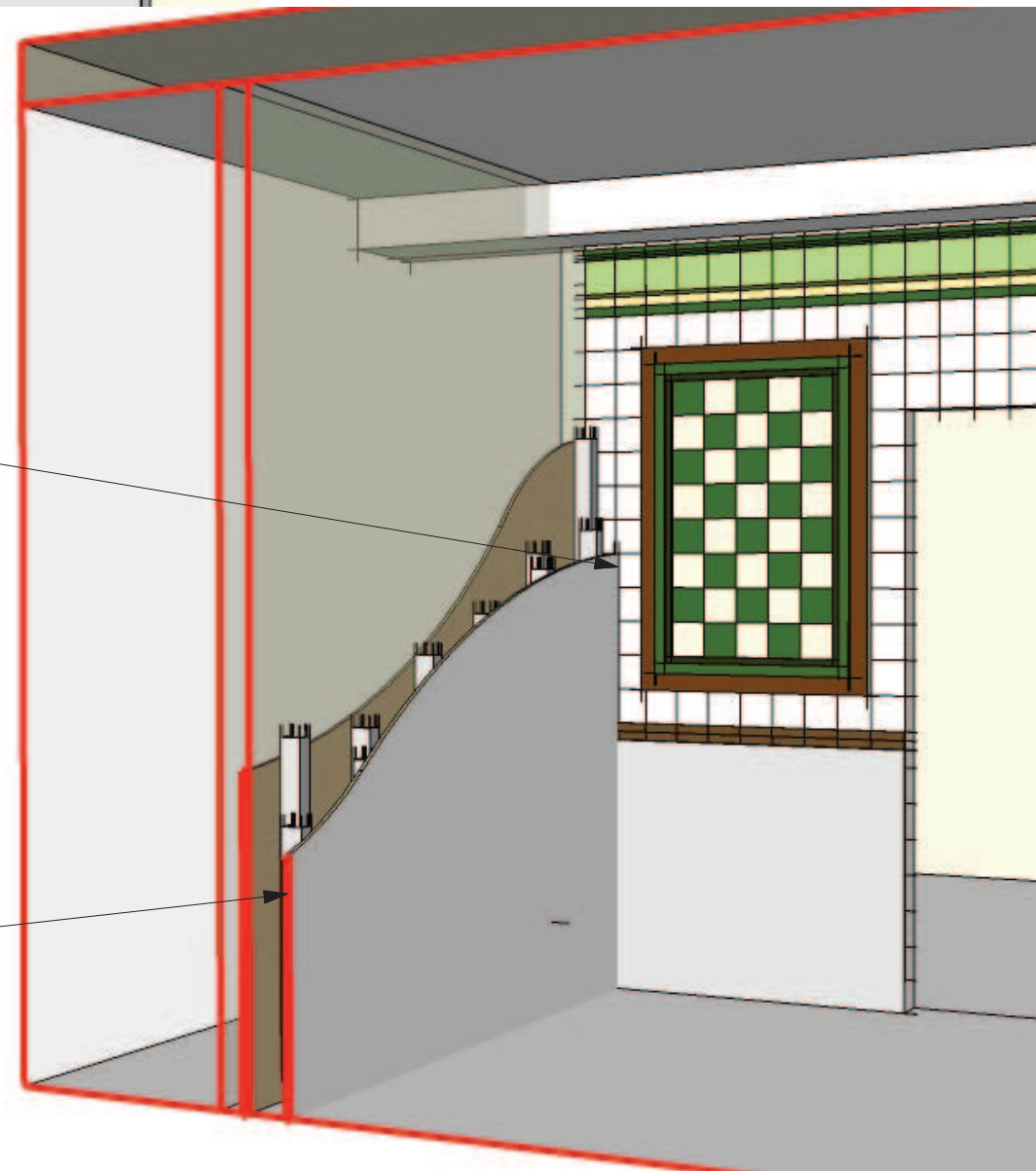
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Original ( non compliant) 100mm partition set on edge of tiles



Compliant 195mm Acoustic partition, set out on line of original wall will sit over end tile aprox 2/3

3D IMAGE OF PROPOSED ARRANGEMENT FOR REPLACEMENT PARTITION



PROPOSALS:  
TO LOCATE SHOP SIDE OF NEW COMPLIANT PARTITION IN LINE WITH SECOND GROUT LINE TO HAVE WHOLE TILE EXPOSED, AND TO BE SYMMETRICAL WITH SINGLE TILE ON EXISTING OPENING SIDE OF PANEL

New partition to be formed of two 75mm metal studs set separately with acoustic insulation between studs, and with a single layer of 12.5mm plasterboard on either sides, ready for finishes

drawing notes:

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project:

**157 Arthur Road,  
Wimbledon Park**

client:

**Mr T Reed**

Revision notes:

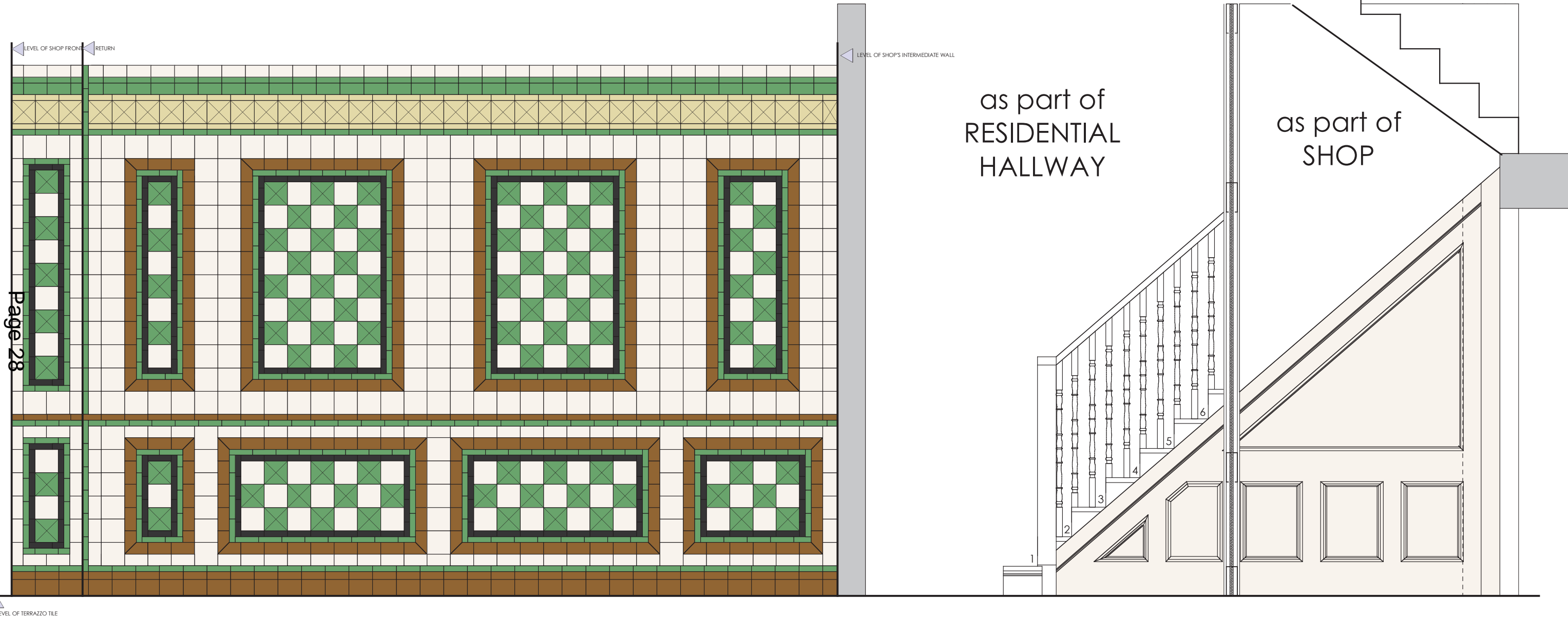
drawing title:

**3d proposals for location of partition**

date	scale	project no	drawing no	revision
March 2015	1:	xxx	LBA 05	-

# RE-INSTATED WALL BETWEEN SHOP AND FLATS WITH CERAMIC TILING SUBJECT TO DISCUSSION

TILE LAYOUT IS INDICATIVE OF PATTERN APPLIED TO NEW WALL. THE EXTENT OF ORIGINAL SALVAGED TILES TO BE USED (IF ANY) TO BE AGREED AND SUBJECT TO ESTABLISHMENT OF COSTS



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1:25@A3

**drawing notes:** This Drawing must not be scaled; only figured dimensions should be used. Critical site dims checked before proceeding. Large scale Drawings are to be preferred to small scale Drawings in case of discrepancy. This Drawing should not be used for land transfer. This Drawing should not be used in isolation. If there are any discrepancies, or contradictions between this and other information, it should be brought to the Architect's attention. Any Adjoining Buildings/Landscape Features shown are for illustrative purposes only and have not been formally surveyed for this Drawing unless noted otherwise. This Drawing and the information contained therein are the copyright of the Architects, and must not be reproduced in part or whole, or disclosed to third parties, unless agreed in writing with **H&C Architects LLP**.

project:  
**157 Arthur Road**

client:  
**Reed**

Revision notes:

drawing title: <b>Tiled Wall Elevation - Layout</b>				
date	scale	project no	drawing no	revision
Dec 2015	1:25 @ A3	2246	Tiles01	-