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6 Cherry Close

Scale 1/1250

Date 28/10/2014

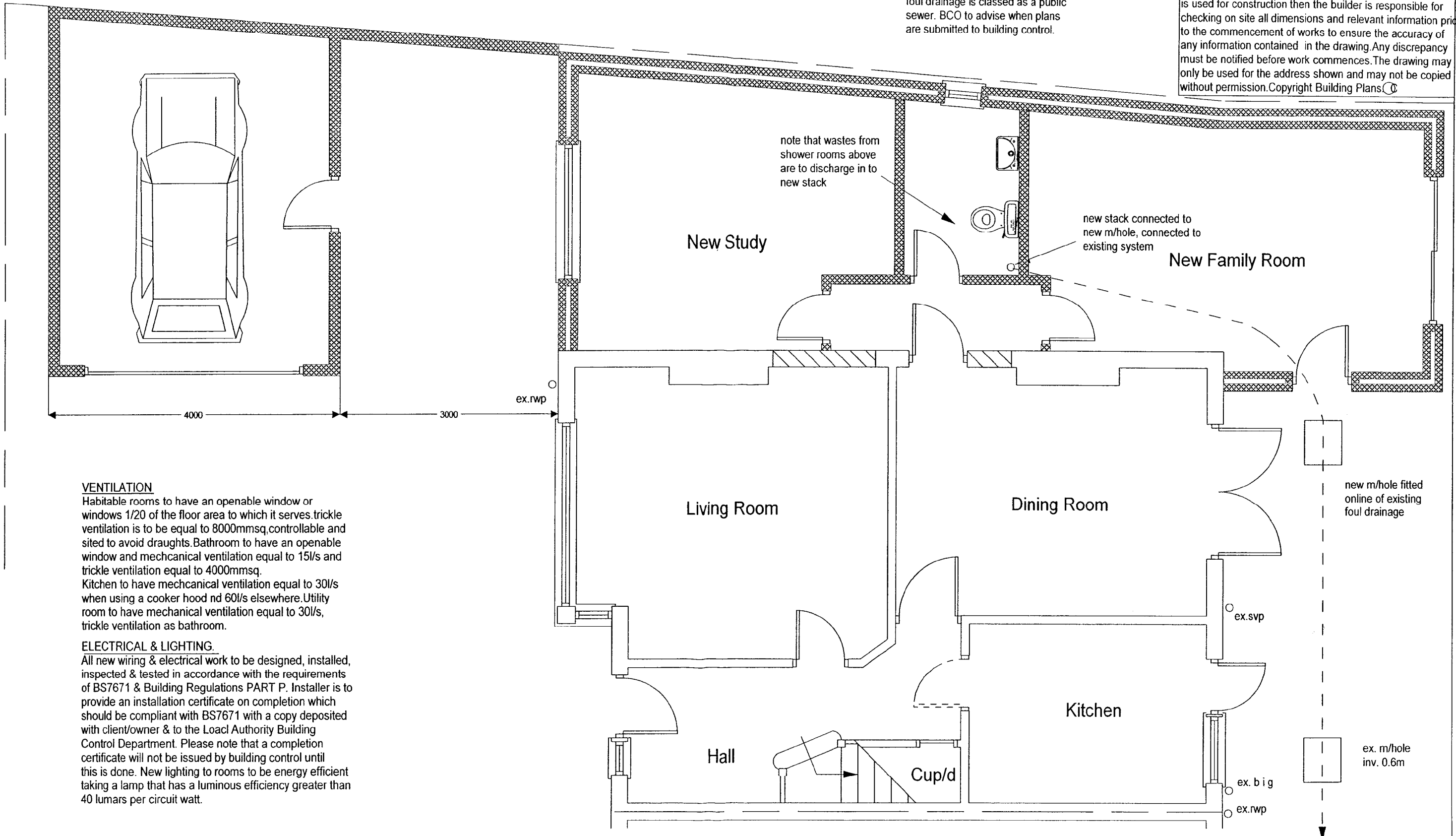
London Borough of Merton
 100 London Road
 Morden
 Surrey
 SM4 5DX



DEVELOPMENT CONTROL

BUILDING PLANS
 61 The Warren Worcester Park Surrey KT4 7DH
 Tel 020 8330 4646
 This drawing is for negotiations with the Local Authority Planning & Building Control departments. In the event that it is used for construction then the builder is responsible for checking on site all dimensions and relevant information prior to the commencement of works to ensure the accuracy of any information contained in the drawing. Any discrepancy must be notified before work commences. The drawing may only be used for the address shown and may not be copied without permission. Copyright Building Plans ©

please note that a build/over close to agreement may need to be obtained with THAMES WATER UTILITIES prior to commencement of any works, if foul drainage is classed as a public sewer. BCO to advise when plans are submitted to building control.



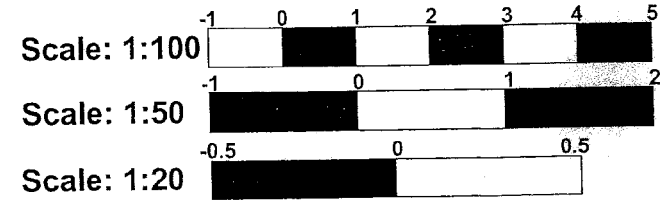
VENTILATION

Habitable rooms to have an openable window or windows 1/20 of the floor area to which it serves. trickle ventilation is to be equal to 8000mmsq. controllable and sited to avoid draughts. Bathroom to have an openable window and mechanical ventilation equal to 15l/s and trickle ventilation equal to 4000mmsq. Kitchen to have mechanical ventilation equal to 30l/s when using a cooker hood and 60l/s elsewhere. Utility room to have mechanical ventilation equal to 30l/s, trickle ventilation as bathroom.

ELECTRICAL & LIGHTING.

All new wiring & electrical work to be designed, installed, inspected & tested in accordance with the requirements of BS7671 & Building Regulations PART P. Installer is to provide an installation certificate on completion which should be compliant with BS7671 with a copy deposited with client/owner & to the Local Authority Building Control Department. Please note that a completion certificate will not be issued by building control until this is done. New lighting to rooms to be energy efficient taking a lamp that has a luminous efficiency greater than 40 lumens per circuit watt.

PROPOSED GROUND FLOOR PLAN



Mr & Mrs Colley 6 Cherry Close Morden Surrey Proposed Ground Floor Plan			
Scale 1:50	date	25:05:2004	
dw no	chec-6/2	rev no	04:10:2005
			A

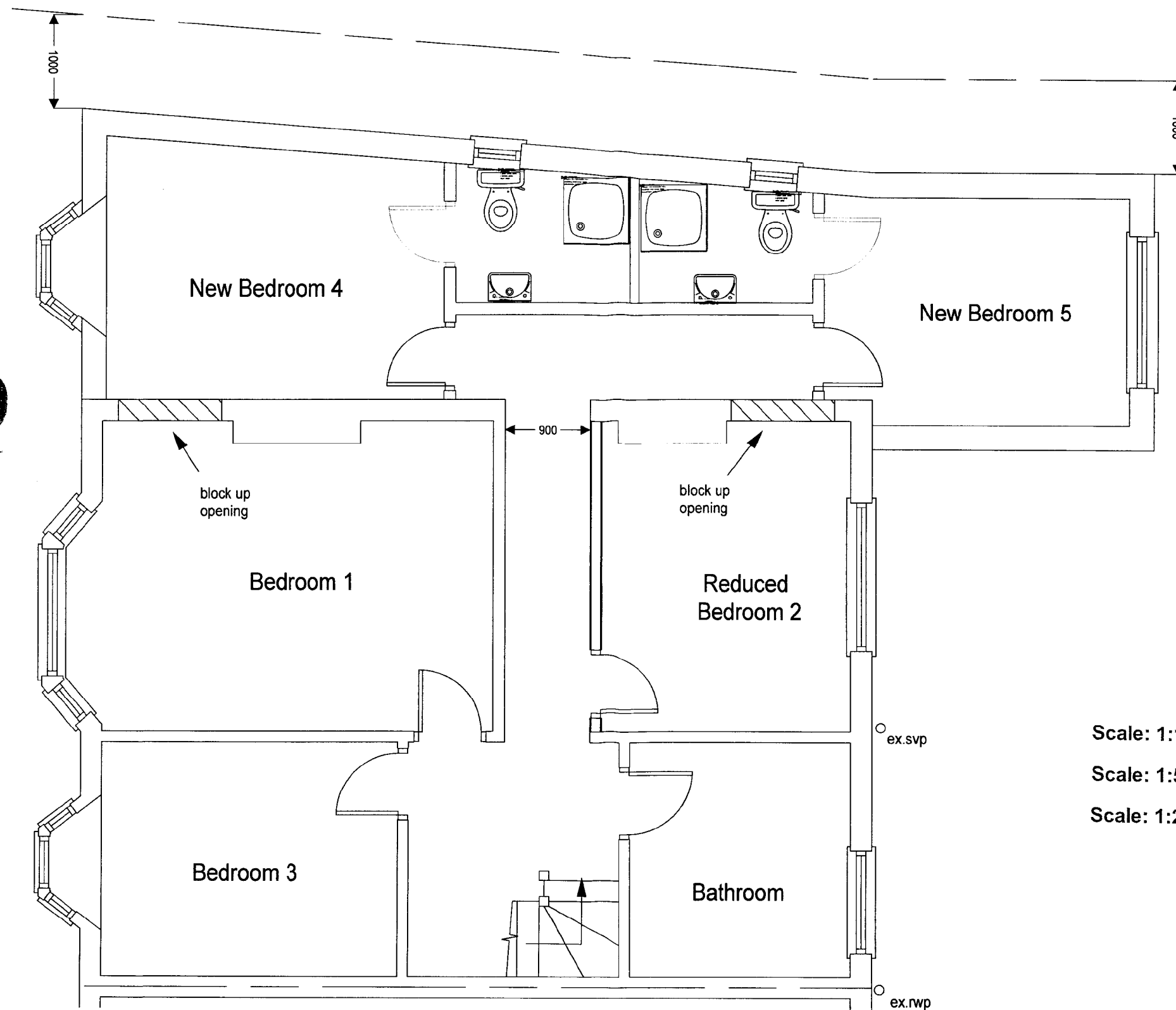
BUILDING PLANS

61 The Warren Worcester Park Surrey KT4 7DH

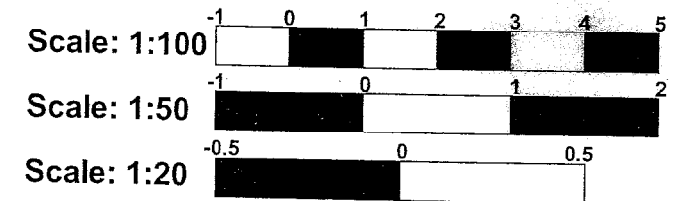
Tel 020 8330 4646

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PLANNING ONLY
revised 15/08/14



PROPOSED FIRST FLOOR PLAN



Mr & Mrs Colley
6 Cherry Close
Morden
Surrey
Proposed First Floor Plan

Scale 1:50 date 25.05.2004

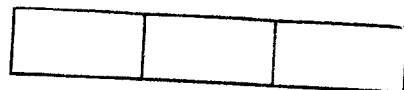
drw no chec-6/3	revised	no
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AMENDED

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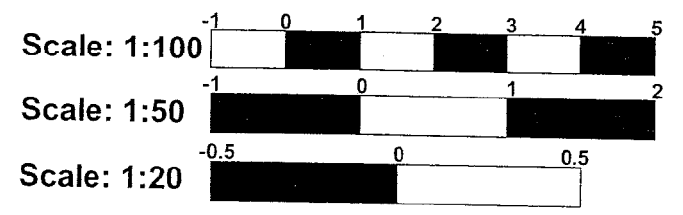
LONDON BOROUGH OF MERTON

15 AUG 2014



BUILDING PLANS
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 Tel 020 8330 4646
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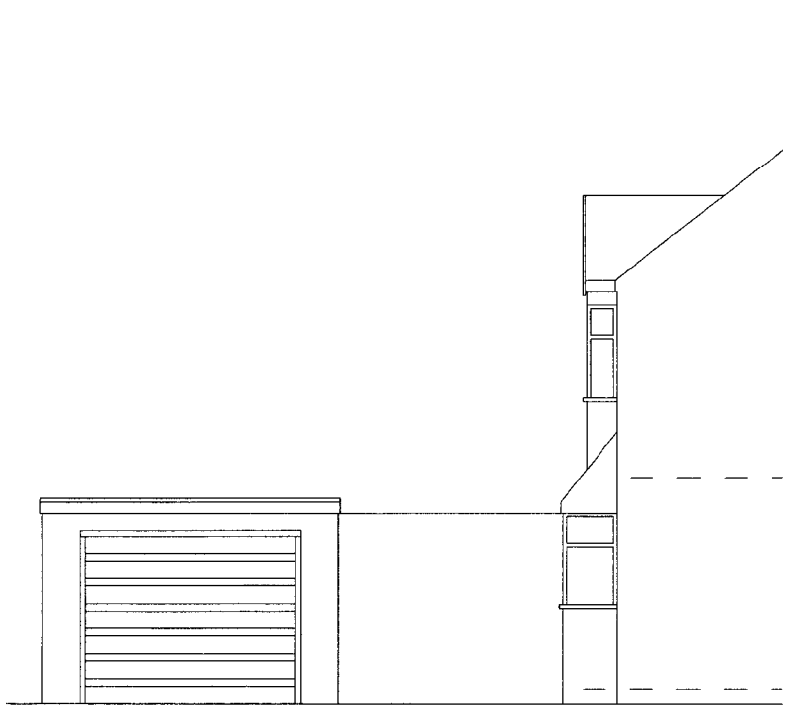
PLANNING ONLY
 revised 15/08/14



LONDON BOROUGH OF MERTON

15 AUG 2014

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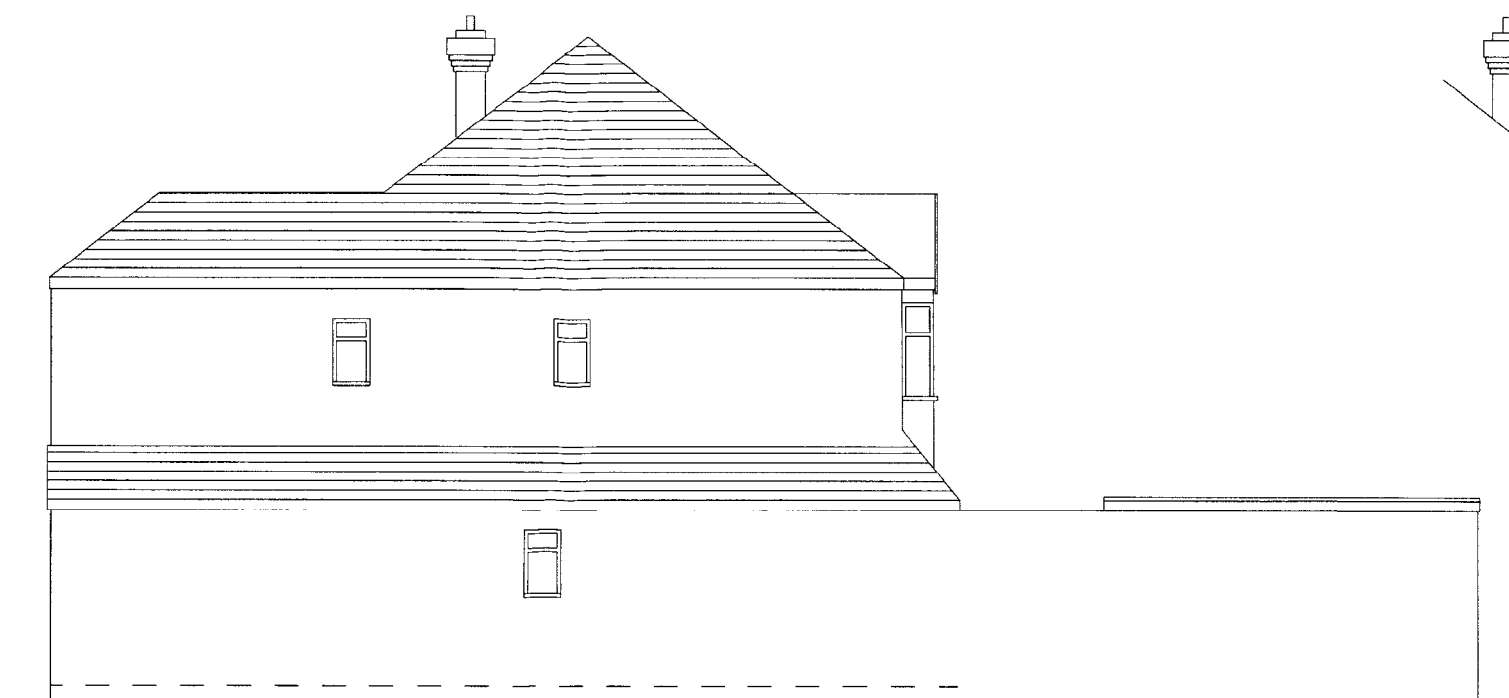
PROPOSED PART SIDE ELEVATION



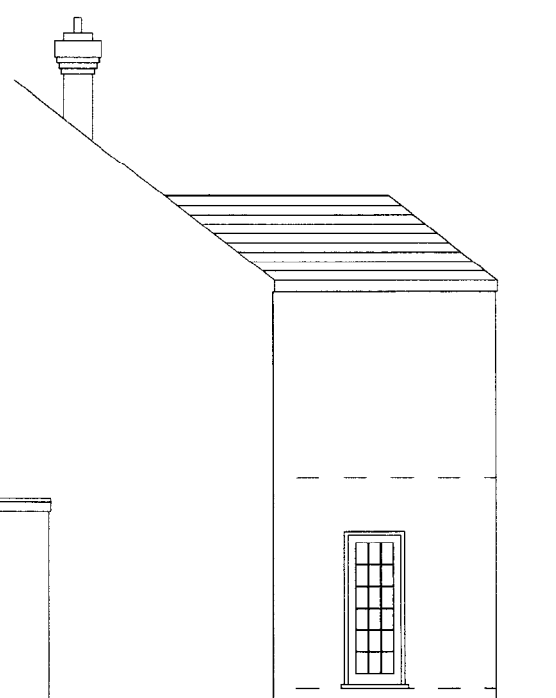
PROPOSED REAR ELEVATION



PROPOSED FRONT ELEVATION
 (WITHOUT GARAGE)



PROPOSED SIDE ELEVATION

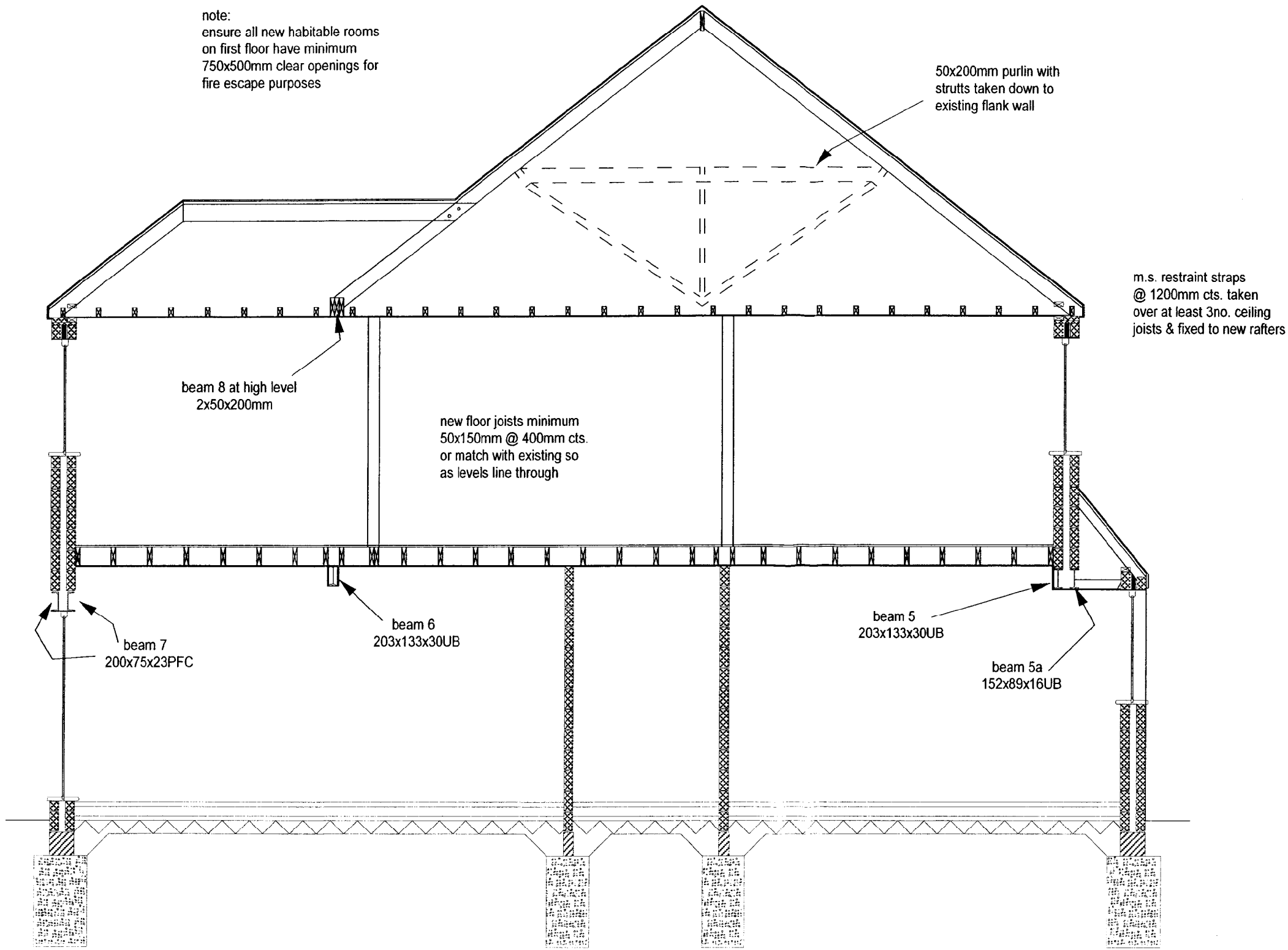


PROPOSED PART SIDE ELEVATION

AMENDED

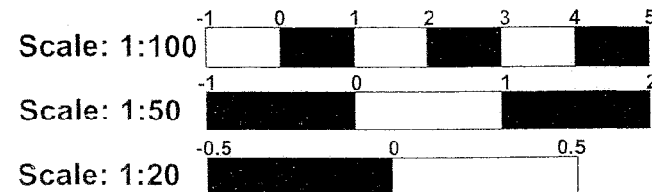
Mr & Mrs Colley 6 Cherry Close Morden Surrey Proposed Elevations			
Scale 1:100	date	25:05:2004	
drw no chec-6/7	revised	04:10:2005	no A

note:
ensure all new habitable rooms
on first floor have minimum
750x500mm clear openings for
fire escape purposes



SECTION B:B

please note that ceiling level may need
to be set lower than existing if new
structural steel work is to be lost within
ceiling, ensure builder makes provision
for this when positioning steel beams



BUILDING PLANS

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NEW PITCHED ROOF (Rafters 50x150mm)

Tiles to match laid on 36x25mm battens on untearable
roofers felt. Rafters at 400cts full length notched over
wallplate and bolted to 150x50mm ceiling joists, with
100mm Gyproc insulation between & 150mm Gyproc
insulation over ceiling joists achieving a U-Value of
0.16, fixed to extended/new ridge board. Hip board
180x40mm. Purlin & struts as indicated on plan.
Provide m.s. anchors all round at 1200cts. Rafters
parallel to wall to be strapped over at 1000cts using
1200x30x5mm m.s. straps. Ceiling foiled backed
plasterboard & skim coated. Provide ventilation at
high & low levels equal to 10 & 25mm continuous
respectively. Insulation to any skelling to be
Celotex TS2/70.

LOWER PITCHED ROOF W/DECK (Rafters 50x150mm)

Tiles/slates to match existing & to work at achieved pitch,
laid on 36x25mm battens on counter battens on KLOBER
PERMO FORTE beather membrane, on 80mm Celotex tuff-R
insulation board fixed over rafter & 30mm Celotex tuff-R or
similar to fit between rafters achieving a U value
of 0.20W/m2K. Rafters at 400cts with noggins mid span,
notched over wall plate every rafter feet anchored to wall
using MS anchors & fixed to 150x75mm bearing plate bolted
to ex wall @ 600cts. Provide MS anchors all round at 1200cts.
Rafters parallel to be strapped over using 1200x30x5mm MS
straps at 1000cts. Ceiling plasterboard & skim coat. Code 4
lead flashings at all junctions 150mm high.

BLOCKWORK WALL U Value Min 0.35W/m2K

Celcon standard 100mm rendered externally with 2x10mm
coats sand & cement render, mix 1:1:6 to finish above DPC
with bell drip. 90mm cavity 50mm clear with 35mm Celotex
CW3035 insulation. Internal skin Celcon 100mm standard or sir
with 2 coats vermicular plaster finish. Stainless steel wall
ties provided at 750cts horizontally and 450cts vertically,
staggered spacing. Tiles to have fasteners to restrain lateral
movement of insulation. Cavity to be closed at roof level
with block. New work bonded to existing using stainless
steel profiles. Lintels over openings CATNIC CLASSIC
combined (CN14A) or similar product.

Horizontal DPC all round min 150mm above ground level
and vertical DPC's at all reveals. All new DPC's and
DPM's to overlap existing. MS anchors to all frames of
windows and doors and built in as work
progresses. Pointing to match existing. Walls that exceed
5000mm unsupported should have expansion joints installed
to manufacturers full specification.

Mr & Mrs Colley
6 Cherry Close
Morden
Surrey
Section B:B

Scale 1:50 Date 04:10:2005

Drawn by chec-6/9

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