

Page 253

© Crown copyright and database rights 2014. Ordnance Survey, 100019259.

This map is based on Ordnance Survey material with the permission of Ordnance Survey on behalf of HMSO. Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or Civil proceedings. London Borough of Merton 100019259. 2012.

113-115

Worples Road

Scale 1/1250

Date 30/9/2014

London Borough of Merton  
100 London Road  
Morden  
Surrey  
SM4 5DX

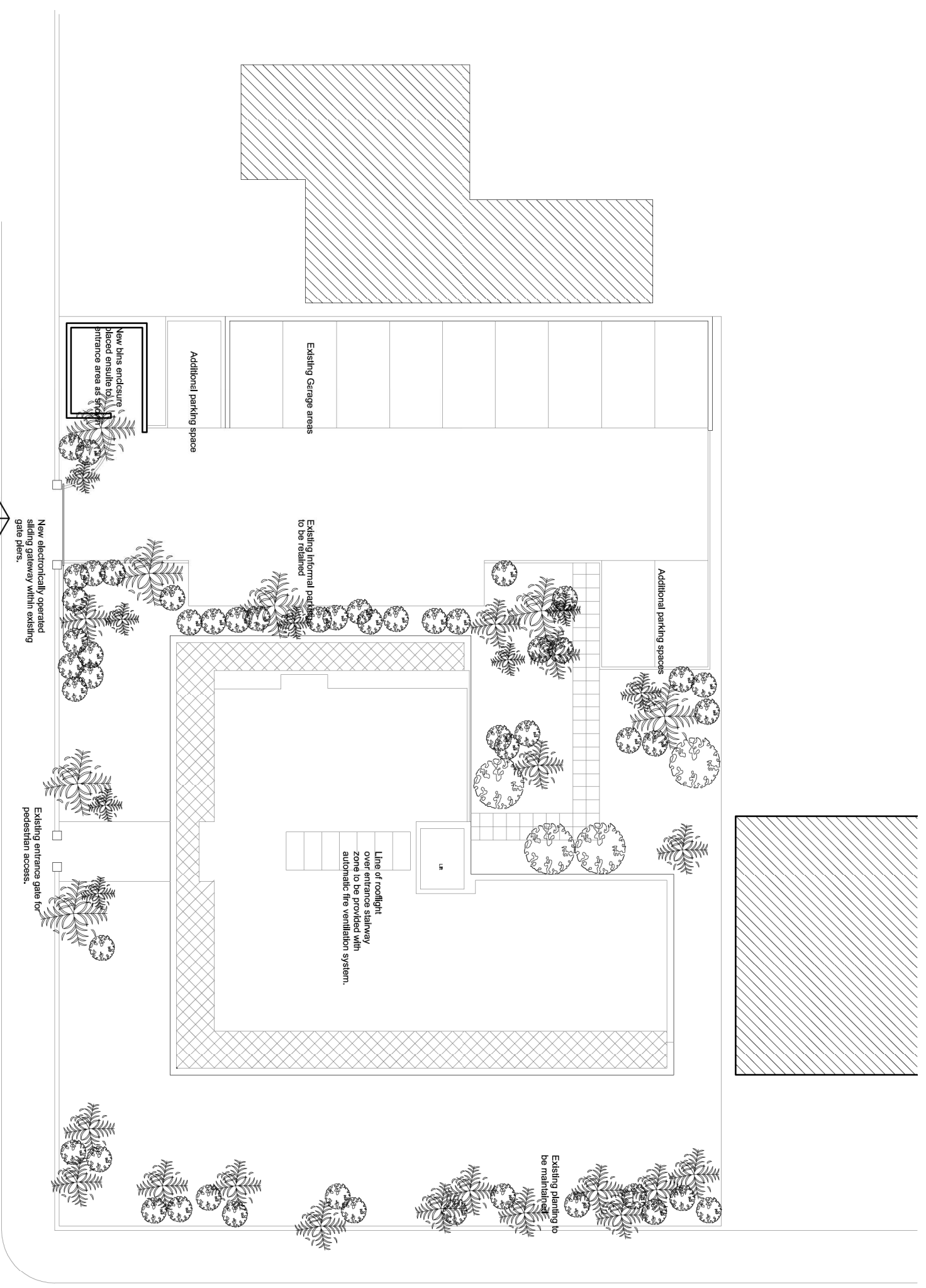
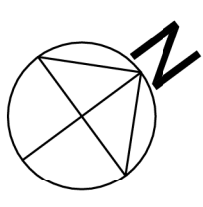


DEVELOPMENT CONTROL

NOTES:  
 Use figured dimensions only. To Nos. Scale. The latter is responsible for checking all levels and dimensions and shall refer any discrepancies to the Architect.  
 This drawing is copyright ©

REVISIONS:

0



CRESCENT ROAD

WORPLE ROAD

Rev (B) July 2014 Changes to car parking areas  
 Rev (a) July 2014 Changes to upper level layouts

Job: Proposed Extension to Crescent House, Crescent Road, Wimbledon, SW20 Road.  
 Client: Blessing Properties Ltd.  
 Scale: 1:200@A3  
 Date: July 2012  
 Job Ref no: 12-016

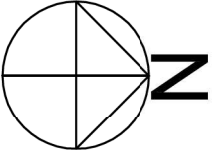
Drawn by: Kane Architecture  
 Site Plan  
 PPL-02(a)

23 The Crescent, Monkstown, Co. Dublin, Rep. of Ireland  
 tel: 00353 1 2140168 fax: 00353 1 42360830 e-mail info@kane.ie




Site Location Map Scale 1:1000

NOTES:  
 Use figure dimensions only. Do Not Scale. The holder is responsible for checking all levels and dimensions and shall refer any discrepancies to the Architect.  
 This drawing is copyright © O  
 REVISIONS:



C:\12016\Planning\Dec13\Pls-Elle-Sec-(03-10-13)-Rev-3.dwg; Layout1; 02/12/2013 09:54:39

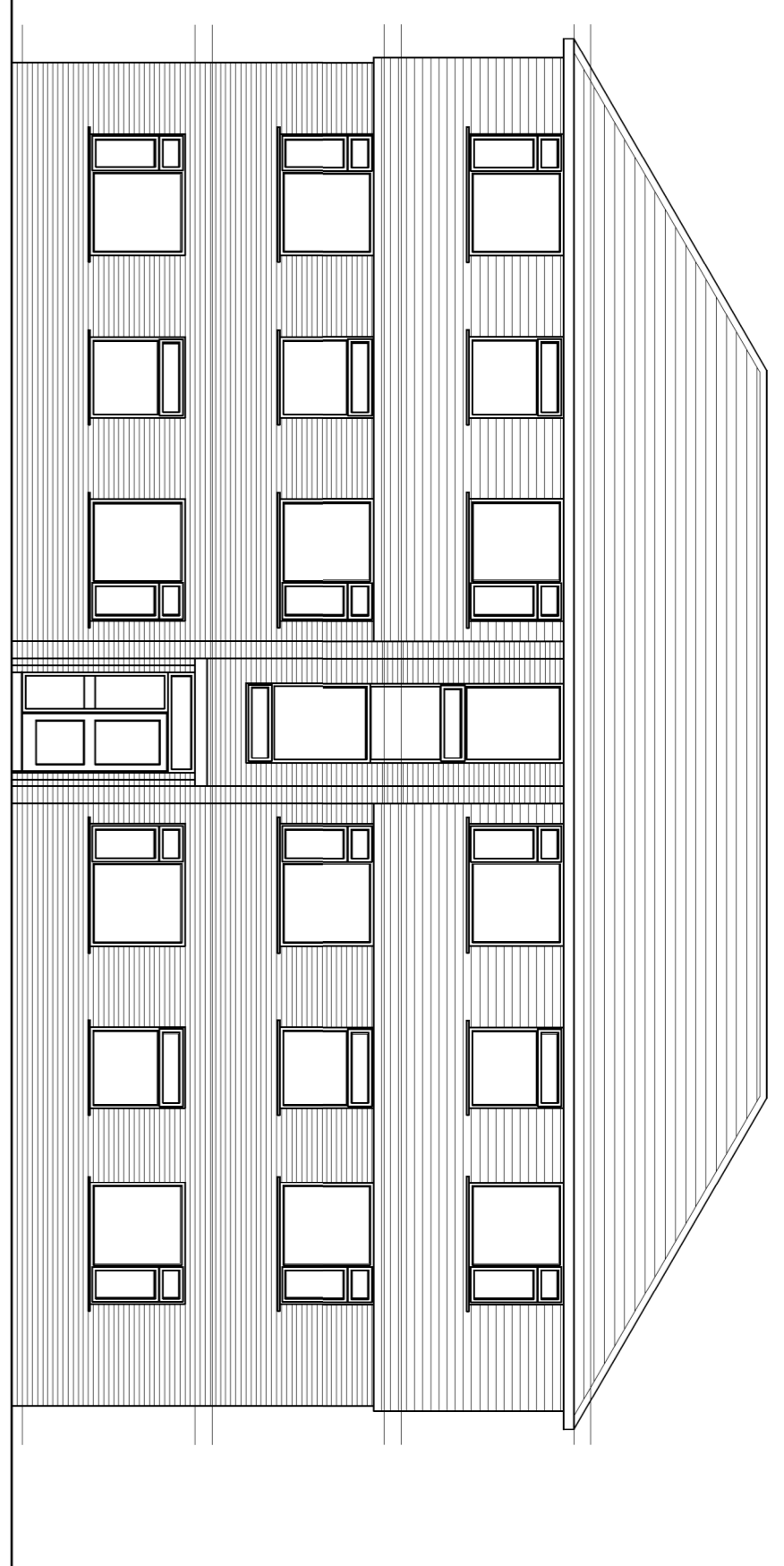
	<b>Kane Architecture</b> 23 The Crescent, Monkstown, Co. Dublin, Rep. of Ireland tel: 00353 1 2140168 fax: 00353 1 42360830 e-mail: info@kane.ie	Job: Proposed Extension to Crescent House, Crescent Road, Wimbledon, SW20 Road. Client: Blessing Properties Ltd Scale: 1:1000@A3 Date: July 2012 Job Ref No: 12-016 Drawing: P-01
	Job: Proposed Extension to Crescent House, Crescent Road, Wimbledon, SW20 Road. Client: Blessing Properties Ltd Scale: 1:1000@A3 Date: July 2012 Job Ref No: 12-016 Drawing: P-01	Job: Proposed Extension to Crescent House, Crescent Road, Wimbledon, SW20 Road. Client: Blessing Properties Ltd Scale: 1:1000@A3 Date: July 2012 Job Ref No: 12-016 Drawing: P-01



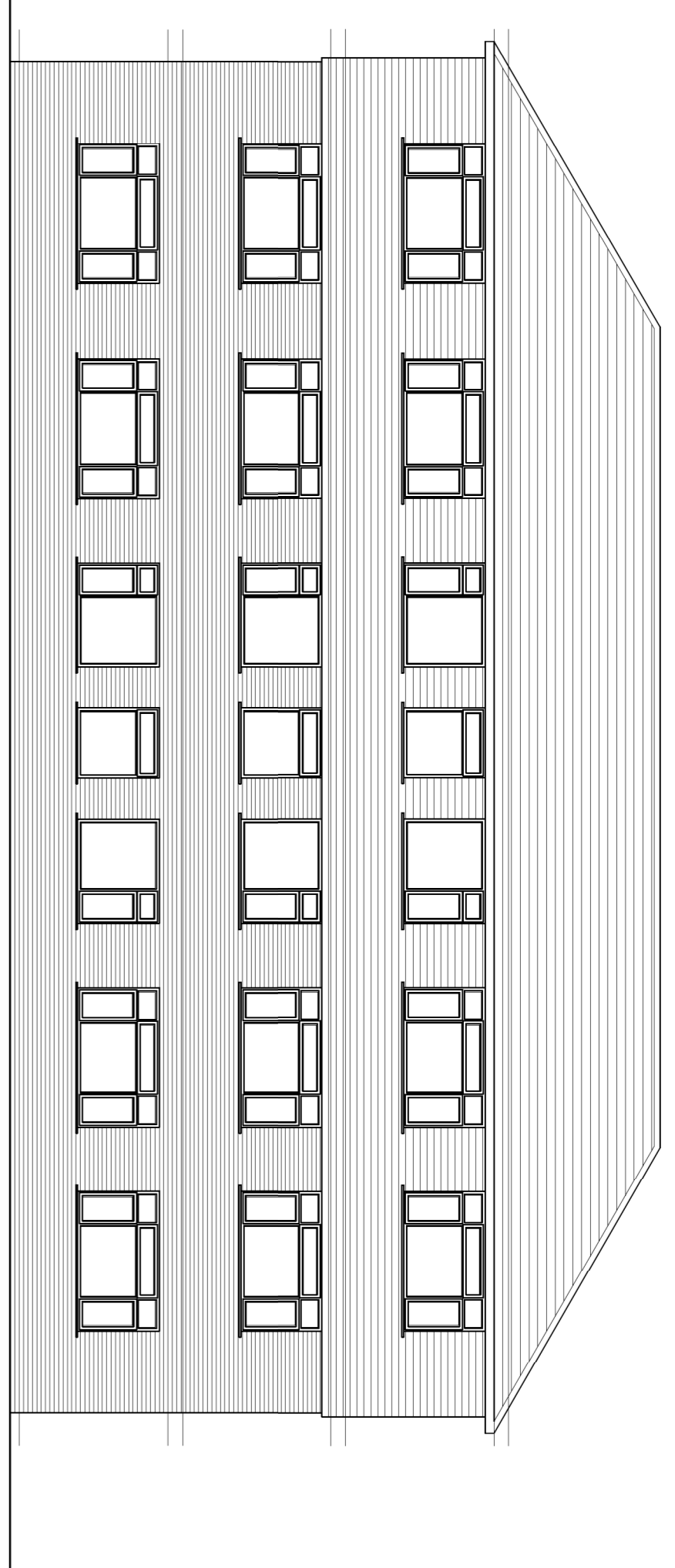
NOTES:  
 Use fixed dimensions only, Do Not Scale. The builder is responsible for checking all levels and dimensions and shall refer any discrepancies to the Architect.  
 This drawing is copyright. ©

REVISIONS

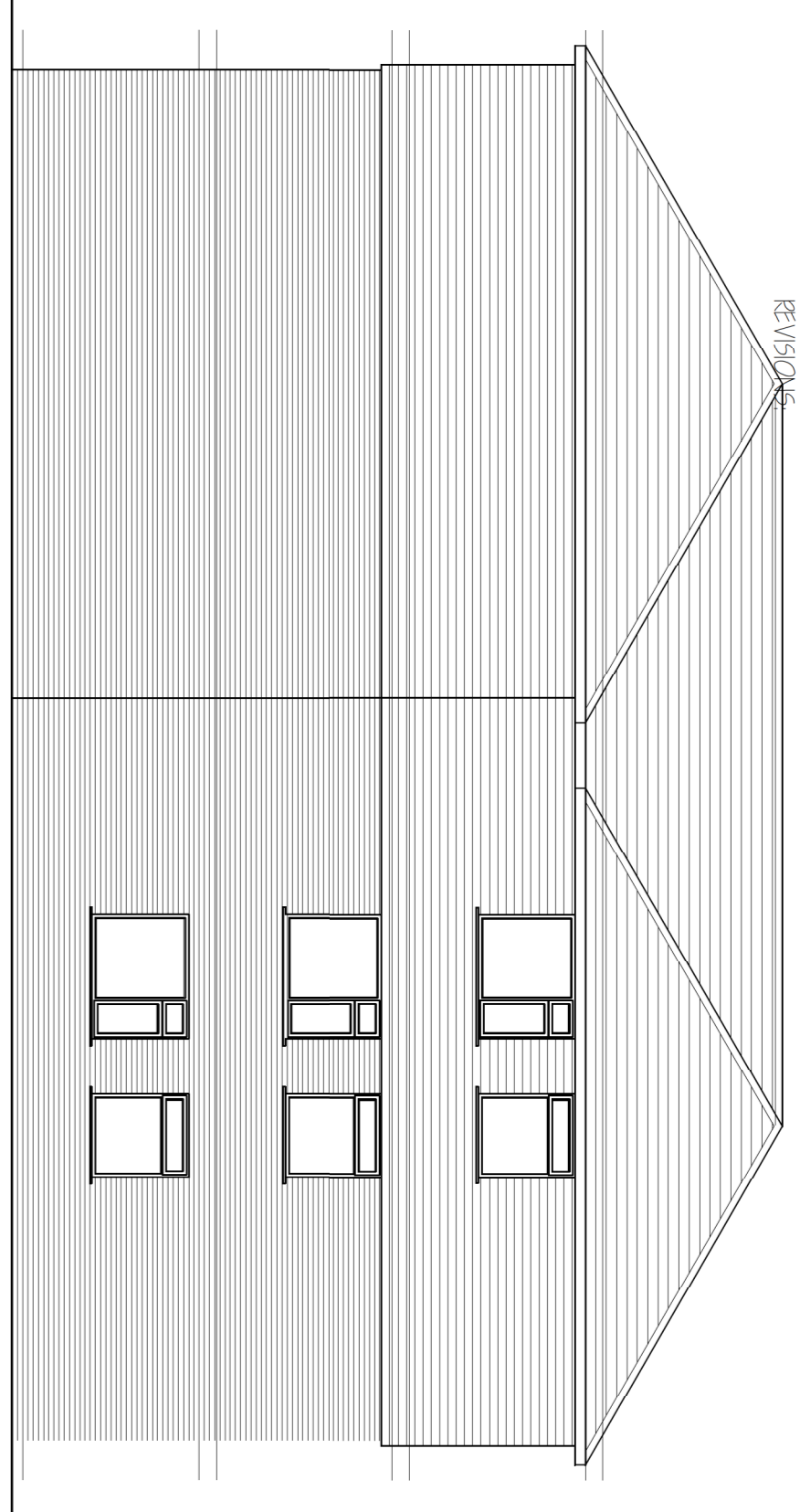
○



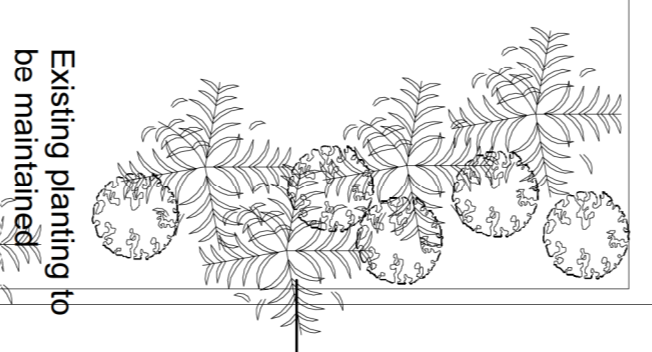
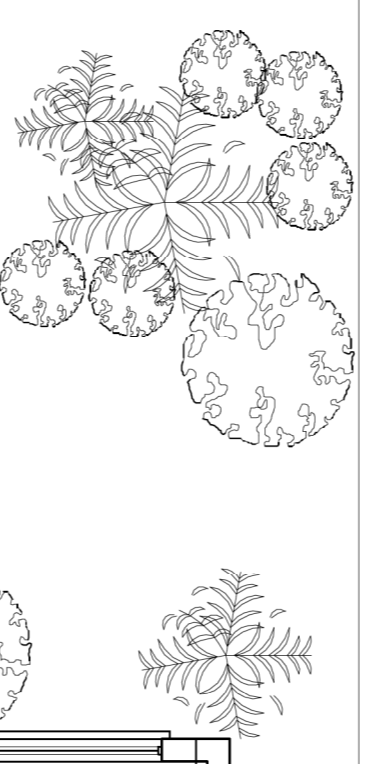
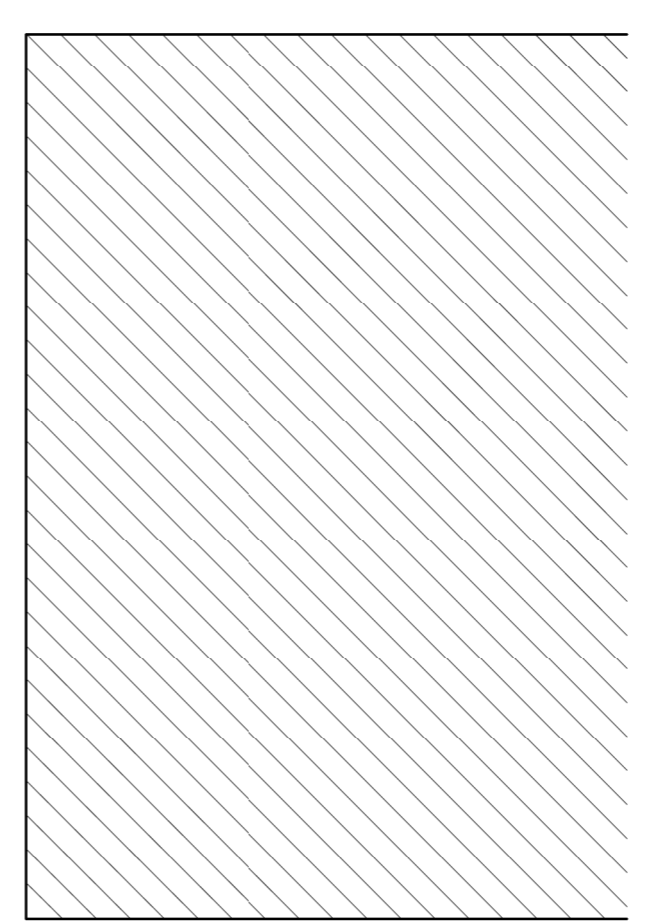
FRONT ELEVATION ( Worples Road Elevation )



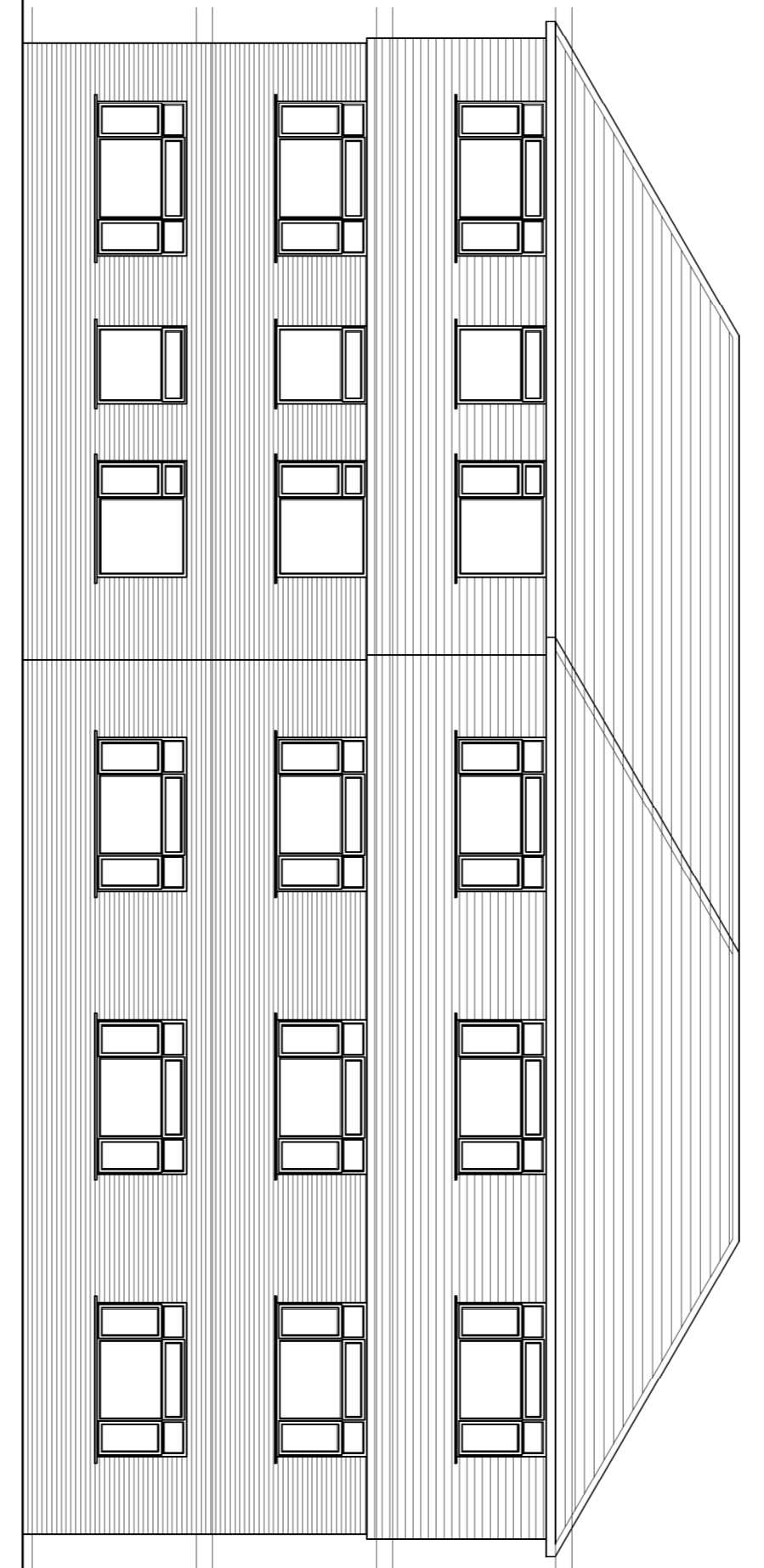
ENTRANCE ELEVATION ( Worples Road Elevation )



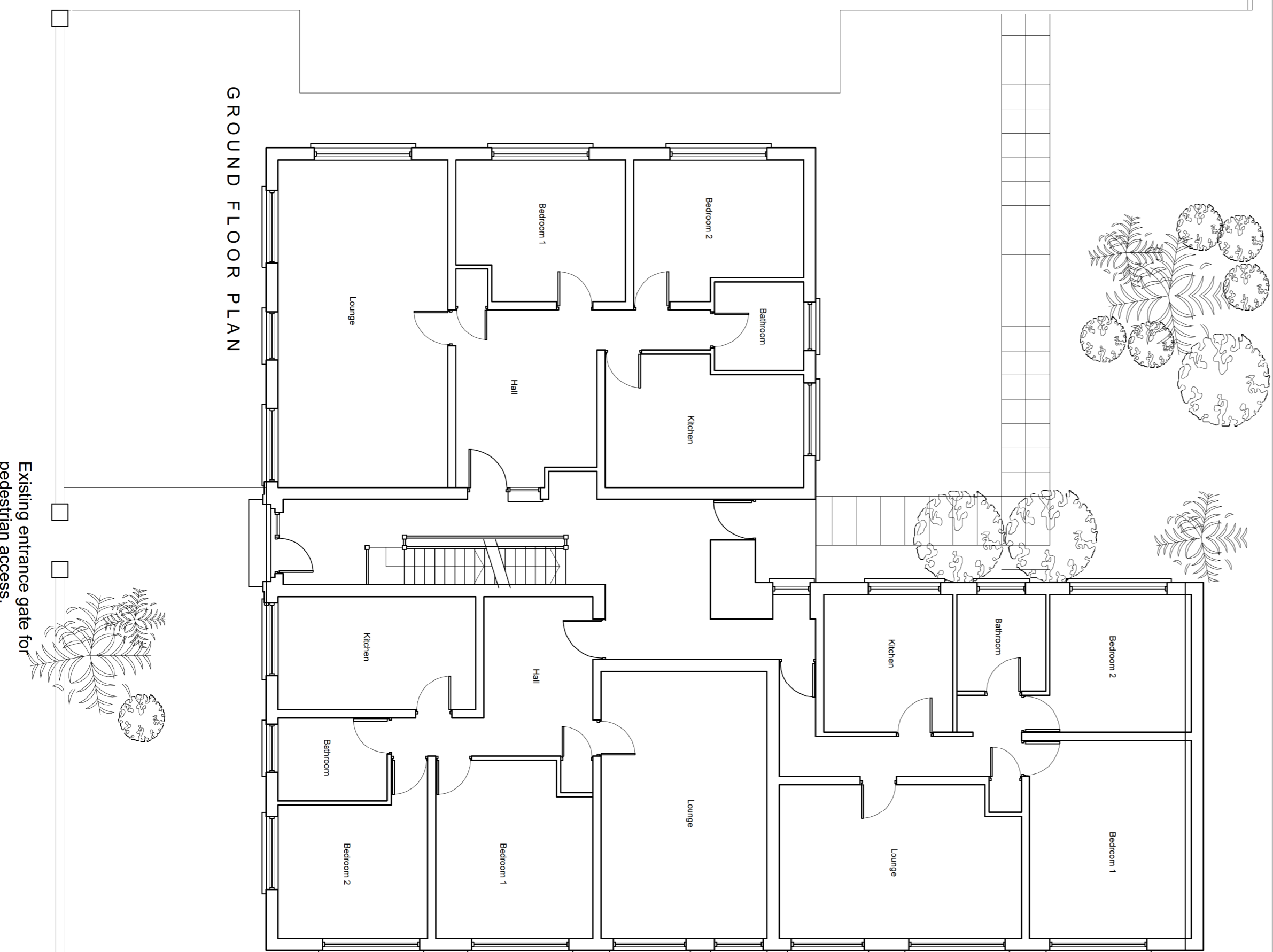
SIDE ELEVATION



Existing planting to be maintained

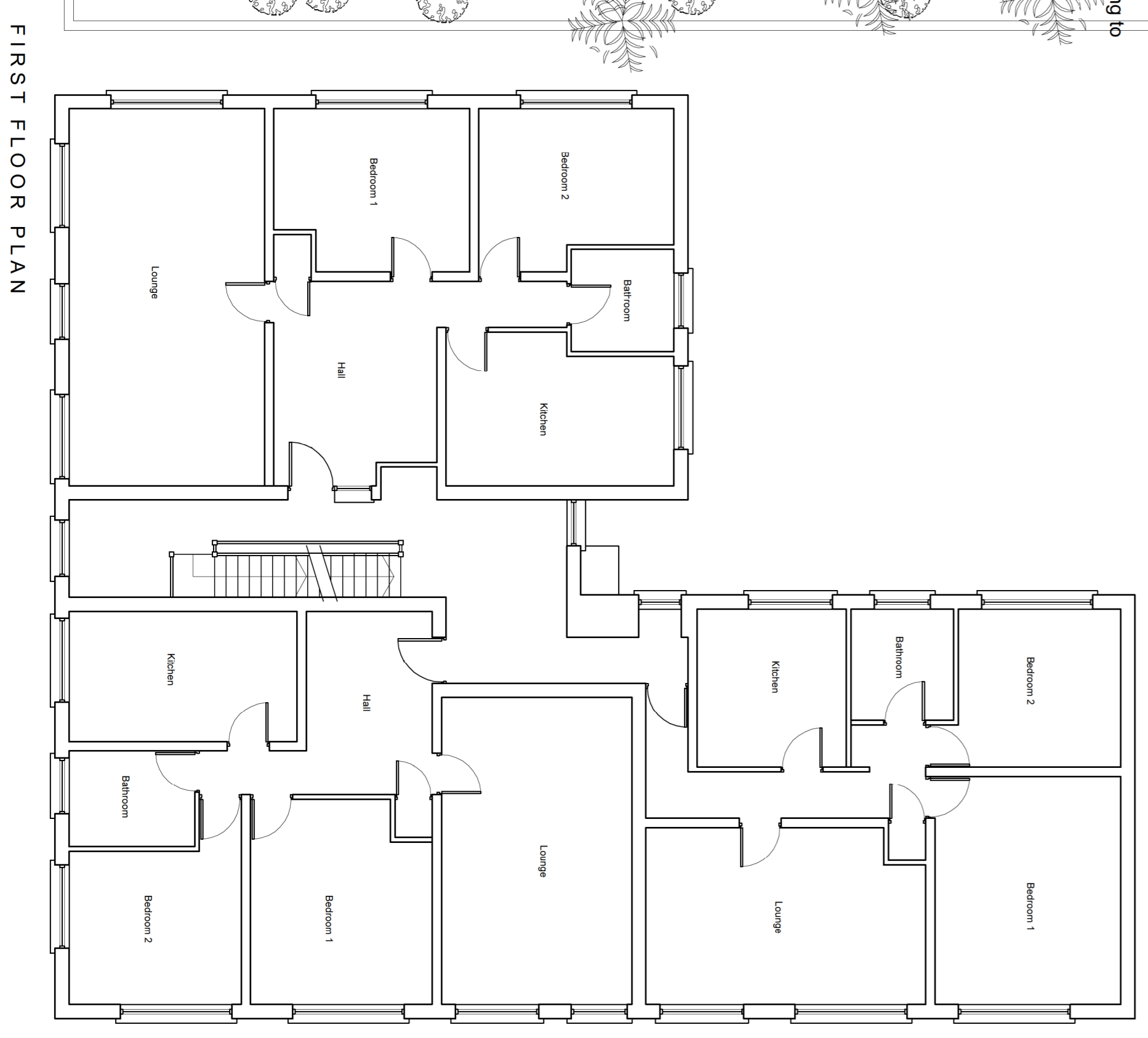


ELEVATION TO CAR PARK AREA

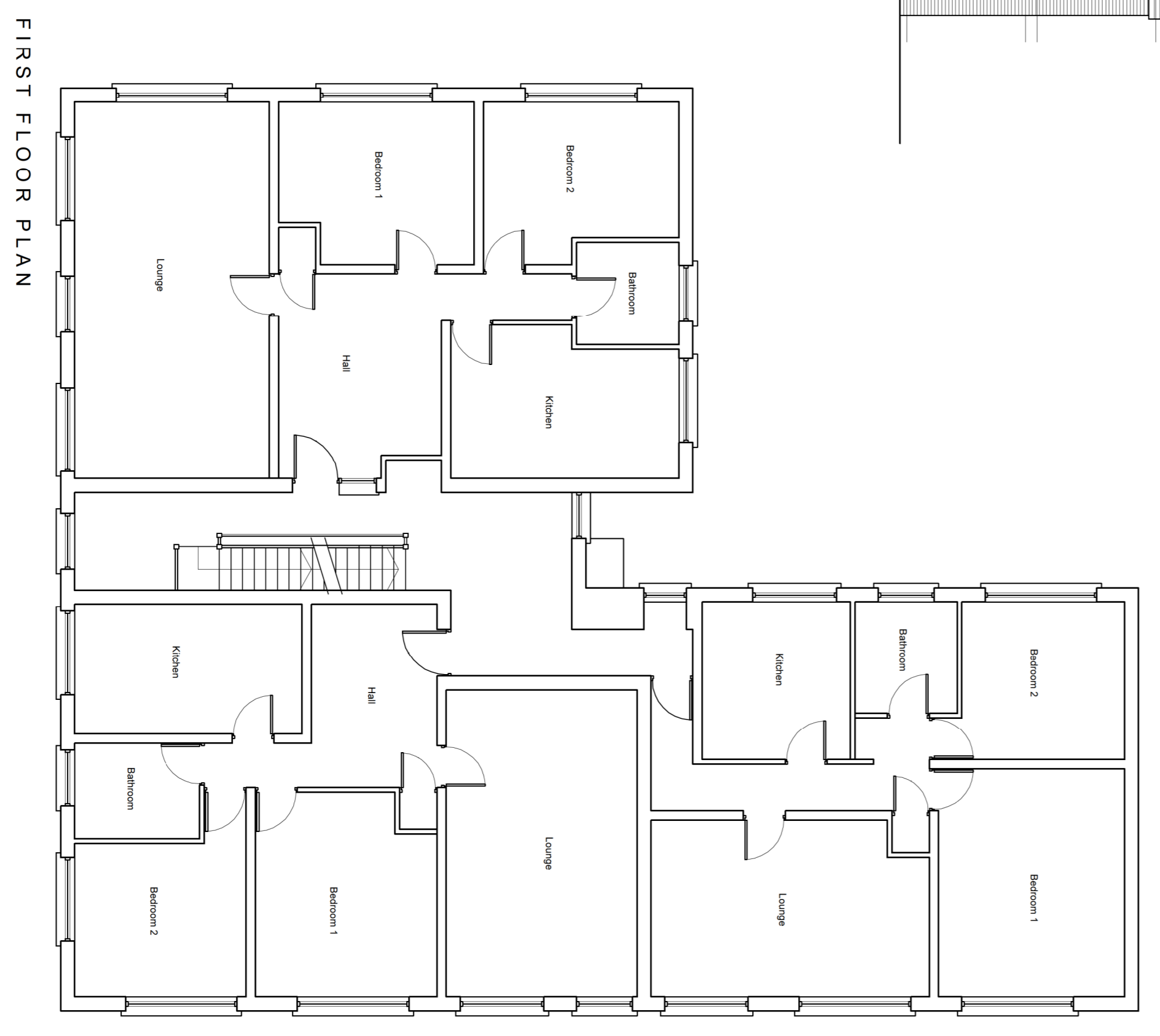


GROUND FLOOR PLAN

Existing entrance gate for pedestrian access.



FIRST FLOOR PLAN



FIRST FLOOR PLAN

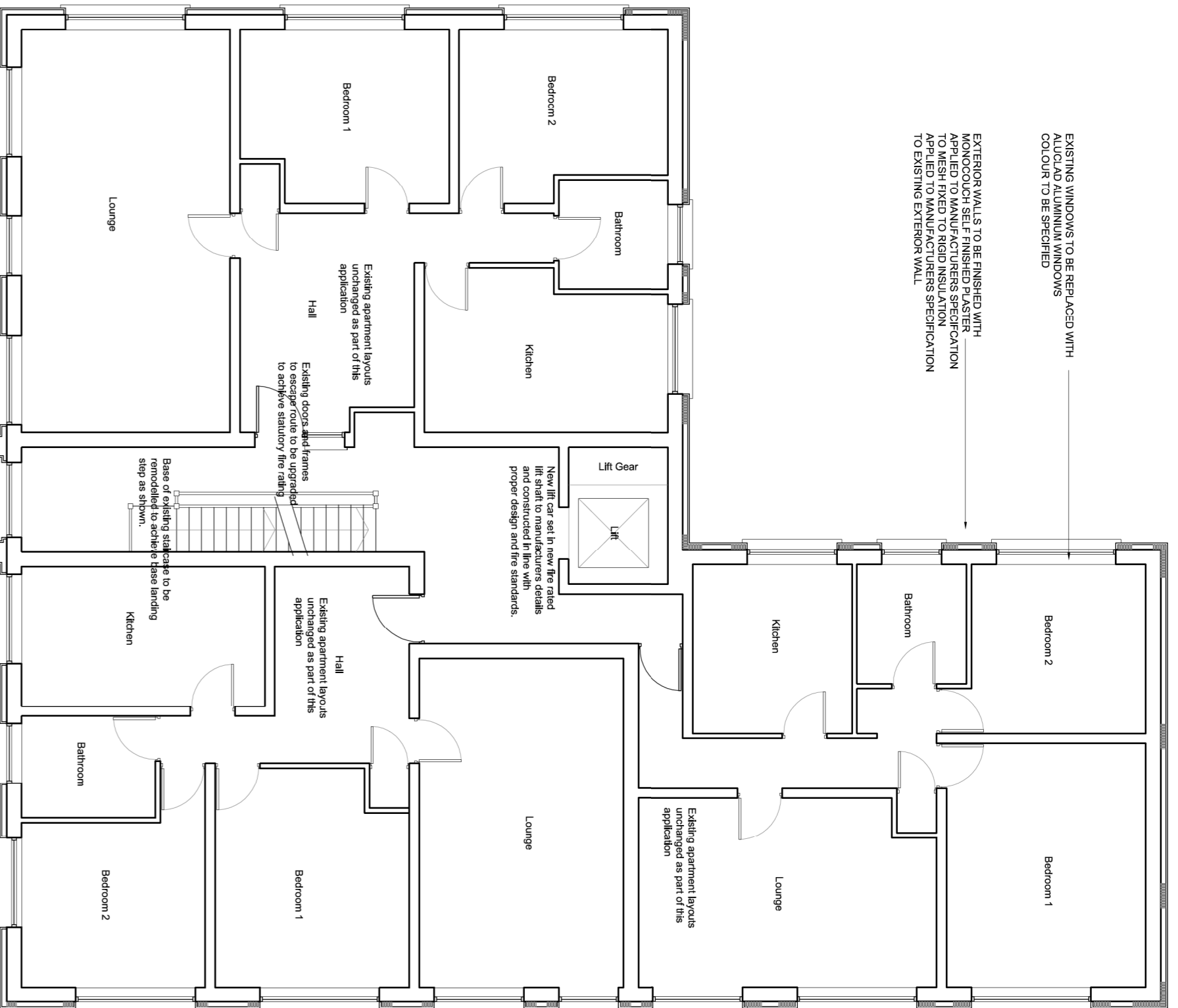
Rev: (B) (04/11) Site area added to show pedestrian access gateway

Job:	redevelopment of existing apartment building at crescent house Wimpoleton, London, SW20	Client:	Blessing Properties Ltd
Scale:	1:100 at A1	Drawn by:	PPU-04(a)
Date:	August 2012	Checked by:	
Drawn by:		Client:	

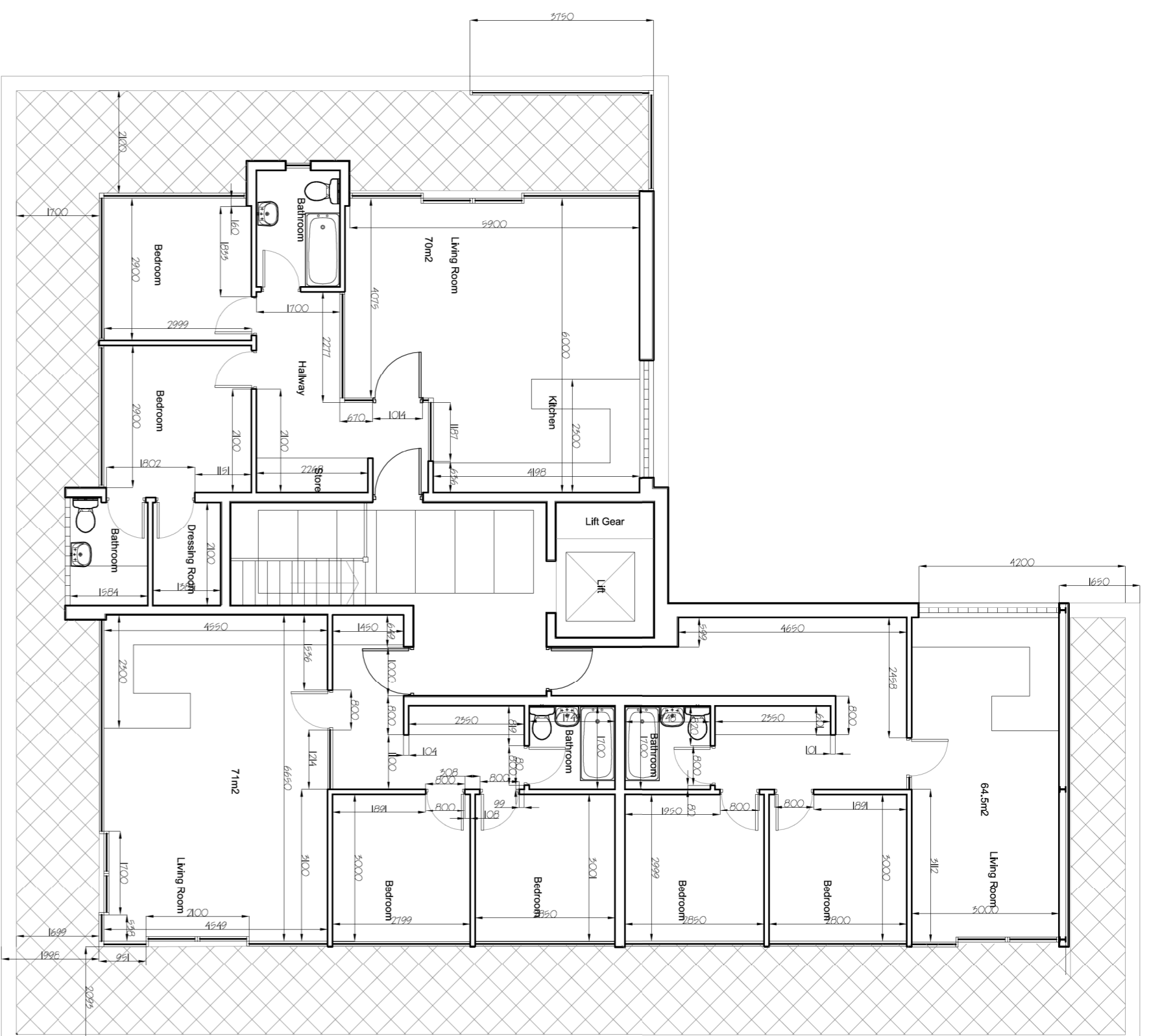
**Kane Architecture**  
 23 The Crescent, Monkstown, Co. Dublin, Rep. of Ireland  
 Tel: 00353 1 2140168 fax: 00353 1 2360830 e-mail: info@kane.ie



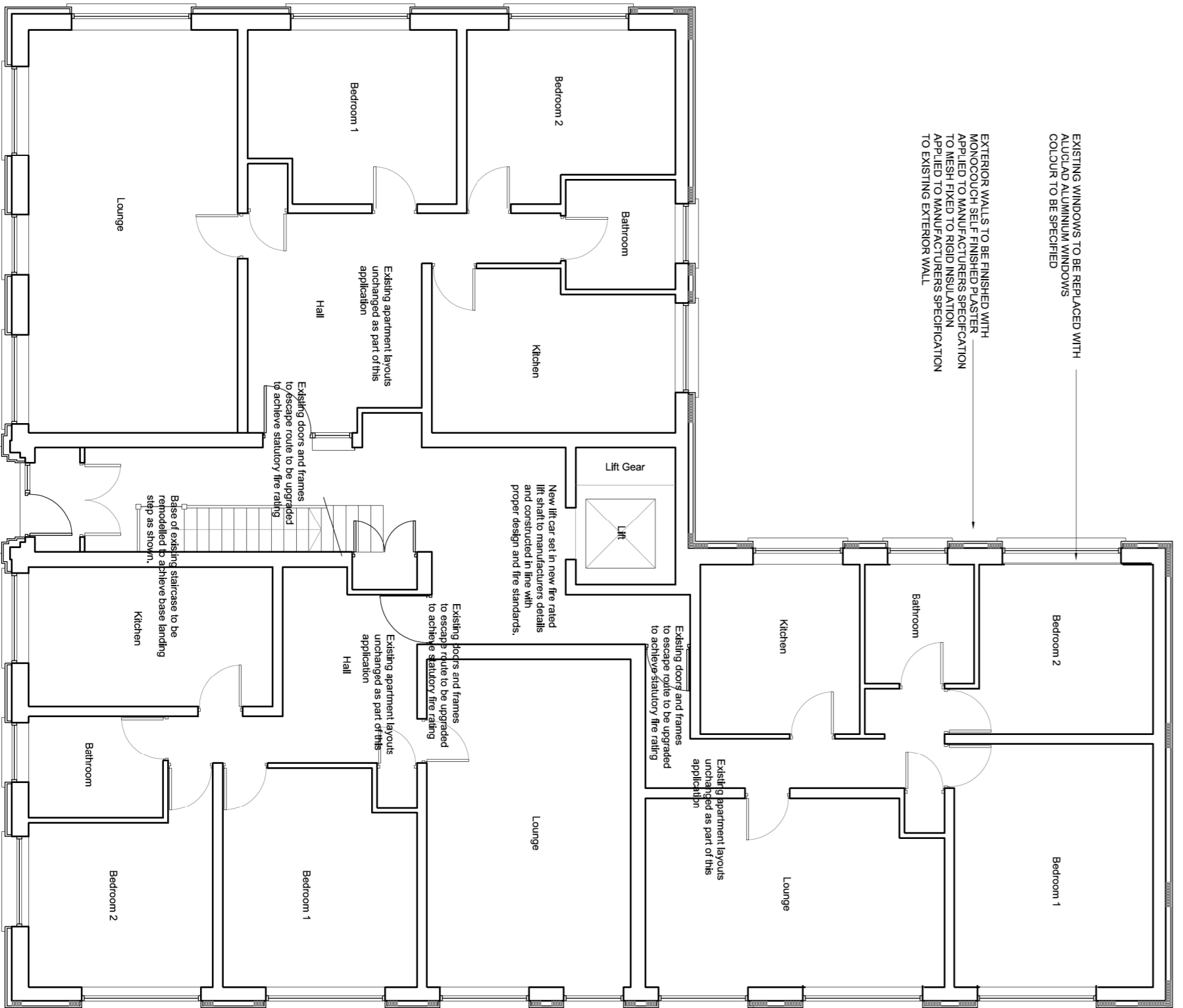
NOTES:  
 Use fixed dimensions only, Do Not Scale. The builder is responsible for checking all loads and dimensions and shall refer any discrepancies to the Architect.  
 The drawing is copyright. ©  
 REVISIONS: ○



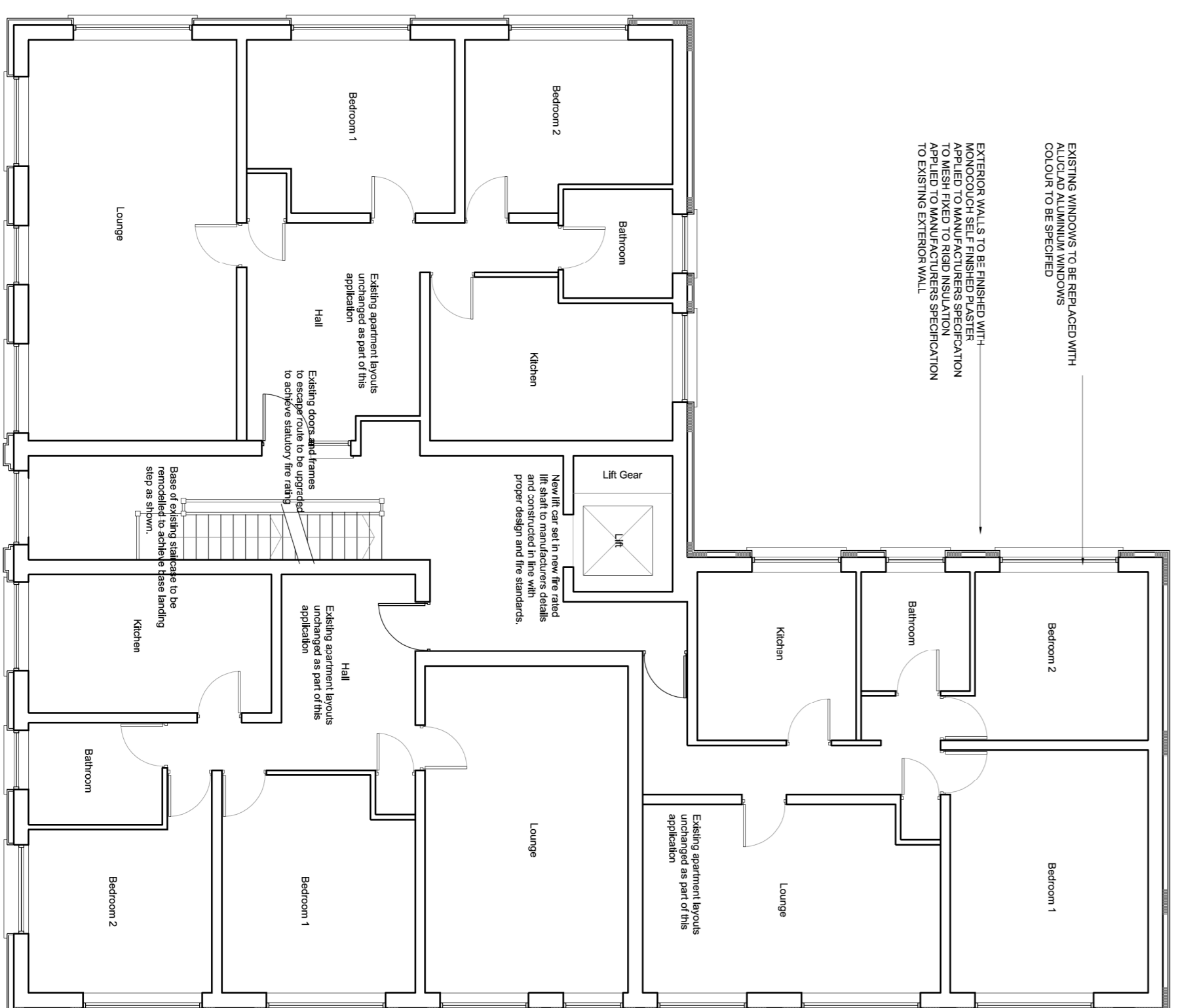
SECOND FLOOR PLAN



PROPOSED THIRD FLOOR PLAN



GROUND FLOOR PLAN



FIRST FLOOR PLAN

Rev (I) July 2014 Changes to upper level layouts

Job: redevelopment of existing apartment building  
 at Crescent house Whitehall, London, SW20

Client: Mr. John Stokes

Drawn: Kane Architecture  
 General Arrangement

Date: August 2012  
 Scale: 1:100 at A1  
 Ref: P-03(6)

23 The Crescent, Monkstown, Co. Dublin, Rep. of Ireland  
 tel: 00353 1 2140168 fax: 00353 1 2980830 e-mail: info@kane.ie

NOTES:  
Use fixed dimensions only, Do Not Scale. The builder is responsible for checking all loads and dimensions and shall refer any discrepancies to the Architect.  
This drawing is copyright. ©

REVISIONS:

Flemish pattern glass block panel

Composite aluminium and steel support system  
To new roof overhang to separate details

Proposed floor to ceiling glazing system to uppermost level  
Aluclad timber and aluminium composite window system to be positioned  
Internal timber finish external Aluminium  
Colour as specified elsewhere within this submission

Stainless Steel handrail and supports to support  
Glass panel inserts to provide guarding to new balcony  
at perimeter of new open area. this railing positioned on inside  
of rising wall to reduce mass and avoid forming a step

Existing windows to be removed and discarded and new  
Aluclad timber and aluminium composite window system to be positioned  
Internal timber finish external Aluminium  
Colour as specified elsewhere within this submission

Existing glazed panel to the stairway to be replaced  
with new textured and coloured glass panel to future details

Exterior walls to be finished with,  
Selected brick slips against 100 phenolic foam insulation system  
Mechanically fixed to existing external brickwork walling  
with selected stabilising mesh as under layer to brick facing  
All applied to manufacturers specifications onto  
Existing External wall to future details

Separate brick panel in selected brickwork as facing to base planter



Composite aluminium and steel support system  
To new roof overhang to separate details

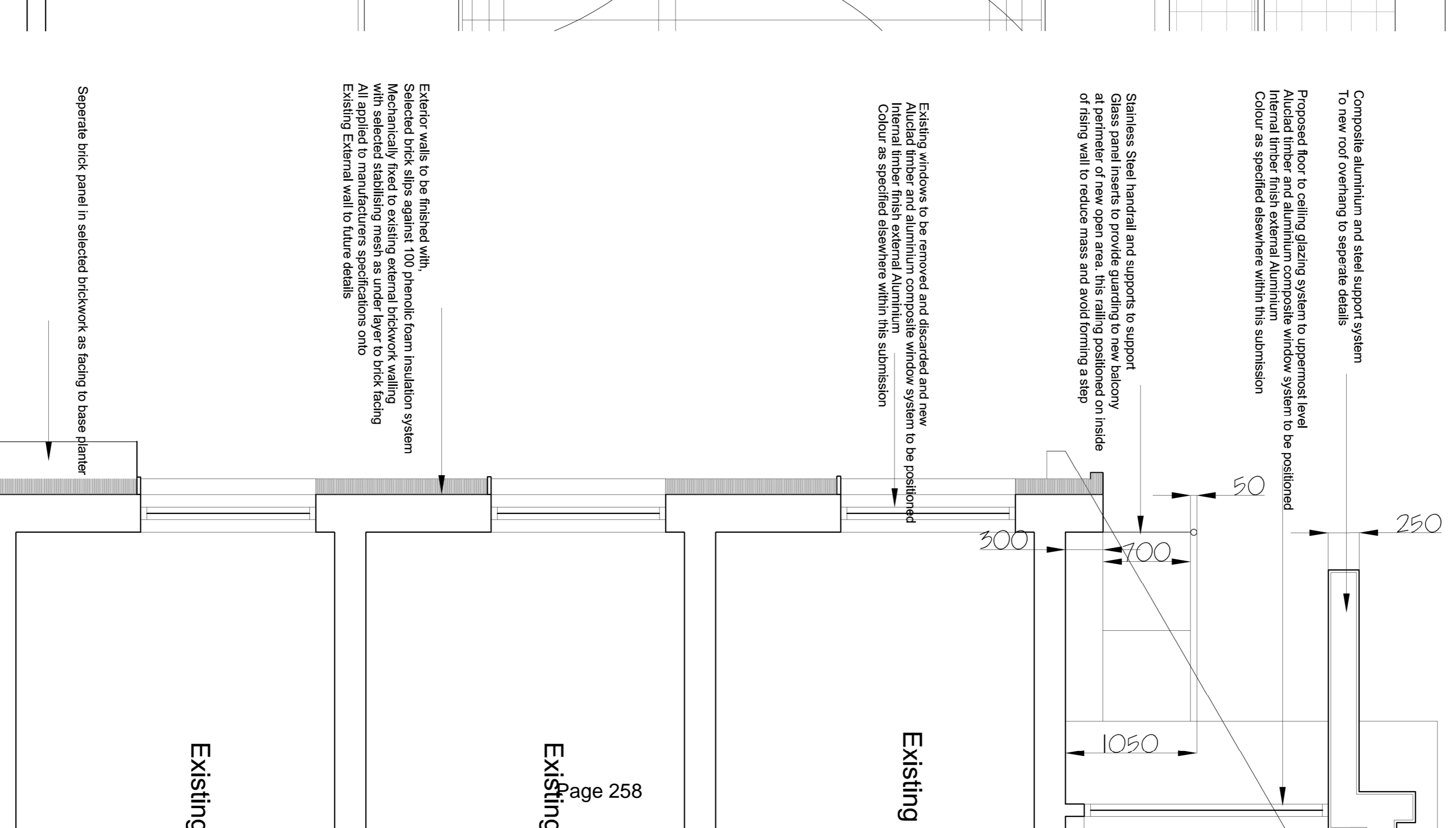
Proposed floor to ceiling glazing system to uppermost level  
Aluclad timber and aluminium composite window system to be positioned  
Internal timber finish external Aluminium  
Colour as specified elsewhere within this submission

Stainless Steel handrail and supports to support  
Glass panel inserts to provide guarding to new balcony  
at perimeter of new open area. this railing positioned on inside  
of rising wall to reduce mass and avoid forming a step

Existing windows to be removed and discarded and new  
Aluclad timber and aluminium composite window system to be positioned  
Internal timber finish external Aluminium  
Colour as specified elsewhere within this submission

Exterior walls to be finished with,  
Selected brick slips against 100 phenolic foam insulation system  
Mechanically fixed to existing external brickwork walling  
with selected stabilising mesh as under layer to brick facing  
All applied to manufacturers specifications onto  
Existing External wall to future details

Separate brick panel in selected brickwork as facing to base planter



Existing  
page 258

Existing

Rev: (0) 14/01/14 Changes to upper level heights

Job:	redevelopment of existing apartment building at Crescent house Windhoek, Lunderw, SW20	Client:	Mr. John Stokes
Drawn by:	1580 BT AT	Checked by:	12/01/16
Date:	August 2012	Drawn by:	P-06(e)

Rev: (0) 14/01/14 Changes to upper level heights

**Kane Architecture**  
Elevational details  
General Arrangement

23 The Crescent, Monkstown, Co. Dublin, Rep. of Ireland  
tel: 00353 1 2140168 fax: 00353 1 2960830 e-mail: info@kane.ie