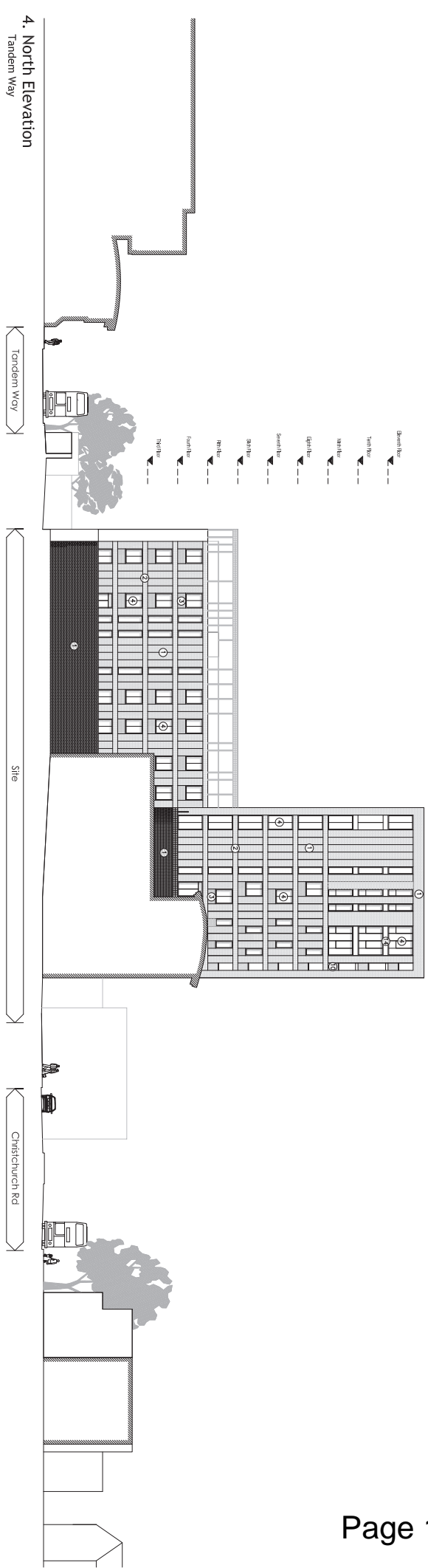


Material Legend

1. Facing Brickwork - Colour 1
2. Facing Brickwork - Colour 2
3. PPC Aluminium Window
4. PPC Aluminium Window
5. PPC Aluminium Shopfront
6. PPC Aluminium Door
7. Anodised Aluminium Fin
8. Balcony with Structural Glass Balustrade
9. Anodised Aluminium Fin
10. Painted Concrete Entrance Canopy
11. Painted Concrete Entrance Canopy
12. Painted Concrete Entrance Canopy
13. PPC Steel Gates
14. Anodised Aluminium Panel



3. East Elevation



4. North Elevation

**Aros Architects**  
 189 Wood Lane  
 London SE1 1UN

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 +44 (0)20 7928 2444  
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**Email**  
 info@arosarchitects.com  
 www.arosarchitects.com

- Notes
1. All dimensions to be checked by the Contractor on site. Any discrepancies to the drawings are to be reported to the client.
  2. The Contractor shall verify the accuracy of the drawings and specifications for the construction of work.
  3. The Contractor shall provide the necessary resources and labour to complete the work in accordance with the drawings and specifications.
  4. The Contractor shall provide the necessary resources and labour to complete the work in accordance with the drawings and specifications.
  5. The Contractor shall provide the necessary resources and labour to complete the work in accordance with the drawings and specifications.
  6. The drawings to be checked by the Contractor on site and the contractor must not be allowed to alter the drawings without the agreement.

Revisions	No.	Date	By	Checked	Approved

Project: 118-120 Christchurch Road, Collens Wood  
 TRB  
 North and East Elevation

Project No: 5715  
 Date: September 2013  
 Status: PLANNING  
 Drawing No: A602  
 Scale: 1:200 @ A1  
 Rev: P1

# Briefing Note



Ref: bfn.022.MM.12590050  
Date: January 2014  
Subject: 118-120 Christchurch Road

## Indigo Planning Limited

Swan Court  
Worple Road  
London  
SW19 4JS

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## Proposed floor areas and private amenity space

Below is a breakdown of the size of each unit space and private amenity provision, compared to the standards set out in the London Plan Housing Design SPG (2012).

Please note that the private amenity space is in addition to the communal amenity space, totalling some 690m<sup>2</sup>.

Unit no.	Unit Type	Floor area (sqm)	London Plan Standard (sqm)	Compliance with standard	Amenity Space (balconies) (sqm)	Housing Design SPG (balconies) (sqm) (2012)	Compliance with standard
1	2b 4p	75	70	✓	7	7	✓
2	1b	50	50	✓	5	5	✓
3	2b 4p	77	70	✓	7	7	✓
4	1b	51	50	✓	5	5	✓
5	1b	54	50	✓	5	5	✓
6	3b 4p	95	95	✓	20	7	✓
7	1b	55	50	✓	16	5	✓
8	1b	50	50	✓	6	5	✓
9	3b 5p	88	86	✓	10	8	✓
10	2b 4p	75	70	✓	7	7	✓
11	1b	50	50	✓	5	5	✓
12	2b 4p	77	70	✓	7	7	✓

13	1b	51	50	✓	5	5	✓
14	1b	54	50	✓	5	5	✓
15	3b 5p	97	86	✓	10	8	✓
16	2b 3p	68	70	✓	7	6	✓
17	1b	50	50	✓	5	5	✓
18	3b 5p	88	86	✓	10	8	✓
19	2b 4p	75	70	✓	7	7	✓
20	1b	50	50	✓	5	5	✓
21	2b 4p	77	70	✓	7	7	✓
22	1b	51	50	✓	5	5	✓
23	1b	54	50	✓	5	5	✓
24	3b 5p	97	86	✓	10	8	✓
25	2b 3p	68	61	✓	7	6	✓
26	1b	50	50	✓	5	5	✓
27	3b 5p	88	86	✓	10	8	✓
28	2b 4p	75	70	✓	7	7	✓
29	1b	50	50	✓	5	5	✓
30	2b 4p	77	70	✓	7	7	✓
31	2b 4p	77	70	✓	16	7	✓
32	2b 3p	68	61	✓	7	6	✓
32	1b	50	50	✓	5	5	✓
34	3b 5p	88	86	✓	10	8	✓
35	1b	57	50	✓	15	5	✓

36	2b 4p	74	70	✓	7	7	✓
37	2b 4p	77	70	✓	7	7	✓
38	1b	50	50	✓	5	5	✓
39	2b 4p	74	70	✓	7	7	✓
40	2b 4p	77	70	✓	7	7	✓
41	1b	50	50	✓	5	5	✓
42	2b 4p	74	70	✓	7	7	✓
43	2b 4p	77	70	✓	7	7	✓
44	1b	50	50	✓	5	5	✓
45	2b 4p	74	70	✓	7	7	✓
46	2b 4p	77	70	✓	7	7	✓
47	1b	50	50	✓	10	5	✓
48	2b 4p	70	70	✓	26	7	✓
49	1b	50	50	✓	7	5	✓
50	1b	50	50	✓	10	5	✓
51	2b 4p	70	70	✓	26	7	✓
52	1b	50	50	✓	7	5	✓
53	3b 5p	92	86	✓	30	8	✓
54	2b 4p	77	70	✓	15	7	✓

# APPENDIX

APPENDIX

PLANNING APPLICATIONS & LICENSING COMMITTEE  
14 November 2002

Item No:

7

UPRN

APPLICATION NO.

DATE VALID

02/P1707

20/08/2002

**Address/Site** Land at the junction of Christchurch Road and Prince George's Road, SW19

**Ward** Colliers Wood

**Proposal:** Erection of a 5 storey building comprising 2 retail (A1) units, 3 Class B1 business units, 4 live/work units and 14 self contained flats with parking provision and landscaping.

**Drawing Nos** Site location plan, 4119-04C, 05C, 06C, 07C, 08C, 09B, 10D, 11D, 12A, 15A & 16

**Contact Officer:** Olawale Duyile (8545 3287)

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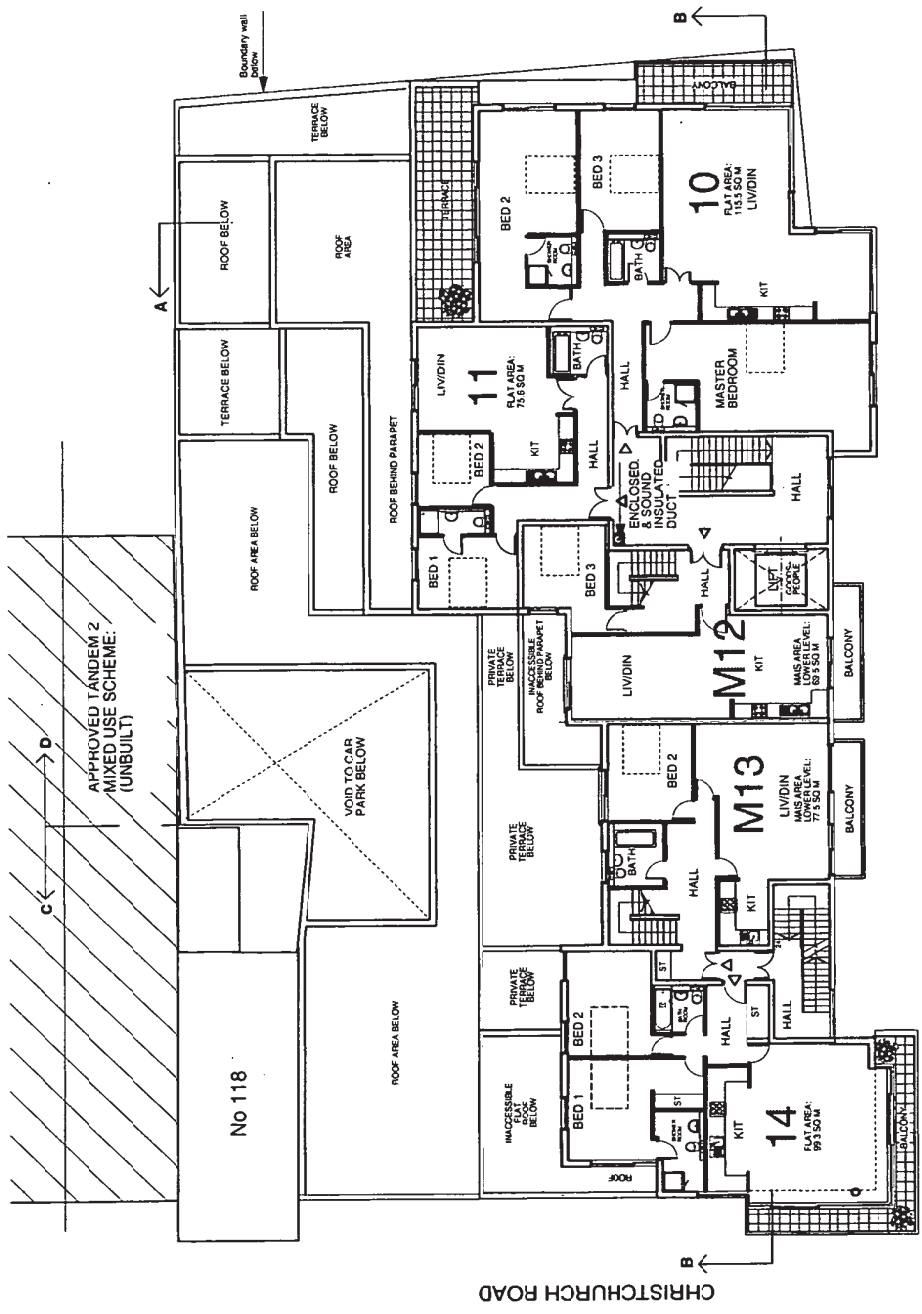
## RECOMMENDATION

**Permission GRANTED subject to the completion of a Section 106 Obligation and conditions**

---

### 1. SITE AND SURROUNDINGS

- 1.1 The application site lies on the eastern side of Christchurch Road, at the junction of Prince George's Road. It is separated from Tandem Centre by Tandem Way to the east and bounded to the north by a 3 storey terrace building known as 118 Christchurch Road. The site is also bounded to the north by the site of Tandem Phase 2. The redevelopment of Tandem Phase 2 for a 4/5 storey mixed use building was approved by Committee in December 2001. The site was formerly occupied by a locally listed building which was originally built as a school and later used by Paynes Works as a factory for the manufacture of double glazing doors and windows. The building on site has been demolished, the site is now cleared and vacant and screened by hoardings.
- 1.2 The application site is within the Colliers Wood Area of Opportunity as defined in the Adopted Unitary Development Plan. It is within the Colliers Wood Urban Centre in the Second Deposit Draft. It is also within an Archaeological Priority Zone and lies adjacent to an existing cycle route and adjacent to a proposal for the extension to the Tram Line from Wimbledon to Croydon through



Total Gross Area 4th:  
 605.7 SQ M

A	10/03/03	PLANNING REVISIONS
	REV DATE	NOTES
CLIENT <b>JEE ESTATES</b>		
PROJECT <b>120 CHRISTCHURCH ROAD          COLLIER'S WOOD          LONDON SW 19</b>		
DRAWING TITLE <b>PROPOSED          4TH FLOOR PLAN</b>		
DRAWN	SCALE	DRAWING NO.
	1:200 @ A3	4119-2-21
CHECKED	DATE	REV.
LIBERO	05/MAY/03	A
<small>APPROVED FOR CONSTRUCTION BY THE ARCHITECT AND CONTRACTOR          © LIBERO ARCHITECTS LTD          UNIT 1, BALDWIN WAY BRIBERY,          LONDON, E17 9AD</small>		

PRINCE GEORGES ROAD BELOW

**4th Floor Plan**  
 PROPOSED

1.  
 C

Colliers Wood (Proposal 1T). In both the Adopted UDP and the Second Deposit Draft, the site (together with the adjacent Tandem Phase 2 site) forms Proposal 5CW identified for retail, employment and residential use.

## 2. CURRENT PROPOSAL

- 2.1 Consent is sought for the erection of 5 storey building to provide 2 retail units (A1) on the ground floor, 3 Class B1 business units on the first floor, 4 live/work units and 14 x 2 bed self contained flats on the upper floors. A service yard, 6 car parking spaces and cycle store are provided to the rear of the site adjacent to Tandem Way. These are accessible via the existing access on Prince George's Road, but pedestrian accesses to the proposed building are from Christchurch Road and Prince George's Road. The proposal was originally submitted to include a restaurant (A3) on the ground floor alongside the retail unit. This has now been deleted from the scheme owing to concerns about the building footprint and its impact on neighbouring property at No. 118 Christchurch Road. The proposed building footprint has now been reduced in size.
- 2.2 The proposed building spans the length of the site on Prince George's Road frontage. On Christchurch Road, the building is set back from the boundary with No. 118 Christchurch Road, resulting in a footprint occupying about 2/3rds of the frontage. The set back is due to the existence of 2 habitable windows at second floor level of the flank elevation of No 118 Christchurch Road and to allow sufficient natural illumination reaching these flank windows. The resulting space between the two would be landscaped and would provide amenity space for the development.
- 2.3 The proposed building measures about 18 metres in height and has a combination of flat and pitched roof profiles, made up of powder-coated steel and aluminium. In architectural terms, the proposed building has 2 distinct elements. One is the corner feature, which is higher than the rest of the building. The corner feature is designed to give the building a street presence due to its prominence. The elevations comprise of brick and render with generous allocation of glazing on the residential façade, the entrance feature of Prince George's Road frontage and on the ground floor elevations in order to provide an appropriate shopfront design for the retail unit. The ground floor design is replicated at first floor level, which accommodates the business units. The windows would be aluminium framed (powder coated) and the balconies, balustrades and guard rails comprise toughened clear glass with painted steel support. Two canopies made up of either glass or polycarbonate and supported by steel frames are proposed over the ground floor on both elevations.

## 3. PLANNING HISTORY

- 3.1 There is no planning history recorded for this site. Prior to demolition and clearance, the site was occupied by Paynes Works to assemble double glazed windows and doors.

#### 4. CONSULTATION

- 4.1 The proposal was advertised by means of press notice (major development), site notice and letters were sent to neighbouring occupiers, the Greater London Authority, Transport for London and London Borough of Wandsworth. No response has been received from neighbouring occupiers.
- 4.2 English Heritage: No archaeological implications.
- 4.3 Conservation Areas & Design Advisory Panel (CADAP): No observations on the proposal.
- 4.4 Transport for London: No objection to the proposal subject to the developer providing financial contribution towards the cost of implementing a new junction that will improve pedestrian / cycle facilities at and in the vicinity of the Christchurch Road / Merantun Way.
- 4.4 Business and Environmental Partnerships Unit: Consider the scheme to be an interesting proposal of finely mixed uses and the first floor business units adequately discharge the development's obligation to provide employment floorspace in accordance with Site Proposal 5CW for retail, employment and residential. However, the quantum of office floorspace is seen as contrary to Policy TC10 which aims to direct large-scale office developments to designated town centres. They have consequently suggested that this could be overcome by splitting the 3 business units to 4 or 5 suites. However, given that the Draft London Plan identifies this area as an Area of Intensification which is seeking to generate 2000 extra jobs, they have raised no objection to the size of the business units. Concerns have been expressed on the layout of the live/work units, common entrance for the business, live/work and residential units and location of waste storage and recycling facilities.
- 4.4 Greater London Authority: No observations on the proposal.
- 4.5 Transport Planning: Transport Planning have made comments on the plans as originally proposed and have asked for a setback from the kerb line on Christchurch Road frontage to facilitate the implementation of tramline. Given the level of car parking provision, they concur with Transport for London and have requested a financial contribution towards sustainable transport initiatives in the area. Additional request is made to ensure that the car parking spaces are dedicated to the commercial uses by condition.
- 4.7 Environmental Health were unable to comment on the proposal as originally submitted and involving the restaurant (A3) because they (including the retail



## 5. POLICY CONTEXT

- 5.1 In the Adopted Unitary Development Plan, the application site is within the Colliers Wood Area of Opportunity (CWAP) and within Archaeological Priority Zone. The application site, the adjoining 3 storey building and the adjoining Tandem Phase 2 site form Proposal 5CW as designated in the Adopted Unitary Development Plan. The following policies are applicable to the proposal. Policies CW.1, CW.4, CW.5, CW.8, S.11, H.2, H.14, W.1, W.14, EB.15, EB.16, EB.17, EB.18, EB.19, EB.23, M.20, M.22, M.28, M.29 & M.35.
- 5.2 In the Second Deposit Draft Unitary Development Plan, the site falls within Colliers Wood Urban Centre and within an Archaeological Priority Zone. The site, together with the adjoining site also form Proposal 5CW (Retail, Employment and Residential). The relevant policies contained in the Second Deposit Draft Unitary Development Plan are S.6 (Small Scale Retail Development Outside Existing Shopping Centres), HS.1 (Housing Layout and Amenity), HS.2 (Amenity Space and Gardens), E.1 (General Employment Policy), BE.18 (Archaeological Protection), BE.19 (Archaeological Evaluation), BE.20 (Archaeological Preservation), BE.21 (New Buildings and Extensions – Daylight & Sunlight), BE.22 (New Buildings and Extensions – Loss of Privacy & Visual Intrusion), BE.23 (Urban Design), BE.28 (Design of Development – New Development), PK.2 (Car Parking Standards), PK.3 (Car Parking and Development), PK.6 (Parking Standards for Residential Development), LU.2 (Public Transport Accessibility) and LU.5 (Developer Contributions).

## 6. PLANNING CONSIDERATIONS

- 6.1 The main issues raised by the proposal are to consider the principle of the proposed retail/B1/live-work and residential uses, to consider the design/layout issues, impact on the neighbouring properties and compliance with Council standards with regards to the internal layout of the development, servicing, car parking and amenity space provisions.

### Principle of Development

- 6.2 The proposed development is acceptable in principle, is consistent with the designated uses and complies with the relevant policies in both the adopted and the emerging Unitary Development Plan. The balance of uses is also considered acceptable and appropriate within Colliers Wood Area of Opportunity and Colliers Wood Urban Centre as designated in the Adopted UDP and Second Deposit Draft respectively. Policies of both the adopted and emerging Plans and Central Government Guidance in PPG6 (Town Centres and Retail Development) presume against large scale retail developments outside existing town centres at Wimbledon, Mitcham and Morden. The proposal involves a modest retail development of about 320 square metres

unit) are presented in shell forms with no details. No observations have been received on the revised scheme.

- 6.8 Although there are windows on the rear elevation of the building facing No. 118 Christchurch Road, these do not directly overlook the second floor flank windows. Although 3 private terraces are proposed on the second floor of the building to the rear, these would be screened by 1.8 metre high obscured polycarbonate, to ensure that they are neither overlooked nor be overlooked by 118 Christchurch Road.
- 6.9 Compliance with Council Standards – Parking and Amenity Space Provision  
The internal layout of the development complies with the adopted floorspace standards for new residential accommodation. Standards with respect to live/work units are still being formulated, but the layout is acceptable nevertheless. Changes have been incorporated to ensure that all access points and lift openings are 2 metre wide to facilitate the movement of bulky goods. There are also clear demarcations between the live and work units to allow proper monitoring should the need arise in future.
- 6.10 The on-site amenity space provision is insufficient for this development. The developers recognise this and have agreed to provide a financial contribution towards open space improvements in the area or elsewhere in the Borough. Car parking provision is also below the standards expected for a development of this nature. However, the site is in an area of moderate public transport accessibility level (PTAL between 3 and 4), is served by bus routes and is within walking distance of Colliers Wood Underground station. Provision is made for cycle storage on site in addition to the parking provision.

## 7. SUSTAINABILITY

- 7.1 The proposed development relates well to the surroundings in terms of use and design. It would positively impact on local and community based businesses and represents an efficient use of brownfield land. The reduced car parking provision and cycle storage provision have positive implications in that there would be a reduction in car dependence, thus encouraging greater dependence on sustainable forms of travel. The net sustainability score is +45.

## 8. CONCLUSION

- 8.1 The proposed mixed use development is acceptable in principle and is not only encouraged with the Colliers Wood Area of Opportunity but also consistent with the designation in both the adopted UDP and the Second Deposit Draft. The building has been set on Christchurch Road frontage to allow the tramline proposal to be implemented. The land would be dedicated to the Council for this purpose. The insufficient parking and amenity space provisions could be overcome by financial contributions towards sustainable transport, highway and open space improvements in the area. The resulting building layout takes into consideration the amenities of the neighbouring

(gross floor area) which is unlikely to be detrimental to the vitality and viability of the Borough's established town centres.

6.3 In the Second Deposit Draft UDP, there is a policy objection to large scale office development outside town centres. However, this development is seen as exception as policy W.14 of the Adopted UDP encourages office development within Colliers Wood Area of Opportunity. Although not a designated town centre, this part of Colliers Wood exhibits the characteristics of a town centre with its range of shopping outlets and accessibility to public transport.

6.4 Design and Layout

The proposal is for the erection of a modern building on this site. Because of its prominence, the site is considered suitable for a fairly high building. The building mass is similar to the approved development on the adjacent Tandem Phase 2, which has a similar height. It is also relevant to note that a higher building is proposed and approved for the 2CW site, which is diagonally opposite the application site. If developed, these buildings could offer a degree of balance to the streetscape as seen from the southern approach of Church Road. In the circumstances, there is a strong case for a high building on the site.

6.5 In terms of building design, the proposal is also satisfactory. The fenestration on Christchurch Road align with the adjacent Tandem Phase 2 development and the facing materials, comprising glass, render, powder coated aluminium for the roof and windows and red stock brick are acceptable and in keeping with the area. The bold corner feature and steel supported canopies would give the development a street presence, which is considered desirable given the site's prominence. There are balconies on the upper floors of Prince George's Road elevation to make the building more visually interesting.

6.6 The layout of the development including the surfacing arrangement is satisfactory. In response to Highway Engineer's request, the proposed building has been set back on Christchurch Road frontage to facilitate the implementation of the tram line and other public transport initiatives earmarked for this part of Colliers Wood.

6.7 Amenity Issues

The proposed development takes into consideration the amenities of the neighbouring No. 118 Christchurch Road. The scheme has been amended and the building significantly set back from the flank elevation of the adjoining property to reduce the overbearing effect and ensure sufficient natural light reaching the second floor flank windows. The resulting gap would be landscaped and would provide amenity space for the occupiers of the development. There are positive benefits arising from this arrangement, especially when considered in the context of the building that was on this site, which was built right up to the elevation of the adjoining property.

9. No development pursuant to this grant of planning permission shall commence until a Car Park Management Plan (including details of the traffic signal) have been submitted to and approved in writing by the Local Planning Authority. The plan shall be carried out as approved prior to the occupation of the development unless otherwise agreed in writing by the Local Planning Authority.

Reason for condition: To ensure that the basement car park is properly managed and in the interests of safety.

10. Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) Order (or any other Order revoking or re-enacting the Order), no change of use of the approved restaurant to retail (A1) shall be carried out without the prior written consent of the Local Planning Authority.

Reason for condition: In order to exercise proper control over the quantum of retail floorspace in the development.

11. The work part of the live/work units hereby approved and shown on the approved drawing numbered 4119-3-06 & 07 shall be used for no other purpose other than uses falling within Class B1 of the Town & Country Planning (Use Classes) Order in connection with the residual residential part of the units shown on the approved drawing and shall not be used for any other purpose without the prior written consent of the Local Planning Authority.

Reason for condition: To ensure that the work space is not used for any other purpose which is incompatible with residential use and in the interest of the amenities of the neighbouring residential occupiers.

12. The residential accommodation which is part of the approved live/work units and shown on the approved drawing numbered 4119-3-06 & 07 shall not be occupied by any person other than the occupier of the work part of the same approved live/work unit and not as independent self contained residential accommodation.

Reason for condition: To ensure that the live/work units are used as such and that the residential accommodation is used in connection with the approved live/work unit and not as independent self contained residential accommodation.

13. G.9 Details of ventilation

14. Any extract ductwork which is proposed must be fitted with carbon filters or some other form of odour control system to be submitted and approved in writing by the Local Planning Authority. The ductwork shall be fixed using anti-vibration mountings both internally and externally. Grease filters will additionally be required within the extract hood. The ductwork is to terminate

at least 1 metre above the eaves level and to terminate vertically. No obstruction or cowl is to be fitted above the extract opening.

Reason for condition: To safeguard the amenities of neighbouring occupiers.

15. F.2 Soundproofing of plant and machinery
16. G.6 Restriction of hours of restaurant use (10:30 to 23:30 hours Monday to Saturday and 10:30 to 23:00 on Sunday and bank holiday)
17. No music and or any other amplified sound generated on the premises shall be audible at the boundary of any residential accommodation, either adjacent to or in the vicinity of the premises to which the application refers at any time.

Reason for condition: To safeguard the amenities of neighbouring occupiers.

properties and in these circumstances, the proposal is acceptable with no plausible argument for withholding consent.

## RECOMMENDATION

### GRANT PLANNING PERMISSION

Subject to the completion of a Section 106 obligation covering the following heads of terms:-

1. The provision of financial contribution towards the enhancement of off-site amenity space;
2. The provision of financial contribution towards the provision of sustainable transport initiatives (including measures to improve cycling and pedestrian facilities) within Colliers Wood Urban Centre or nearby;
3. Dedication of land on Christchurch Road frontage to enable the enhancements of public transport network as required by Proposal 1T in the Schedule of the Second Deposit Draft Unitary Development Plan (October 2000);
4. The developer meeting all professional costs and the costs of preparation, completion and monitoring of any legal agreement with the Council.

and the following conditions:-

1. A.1 Commencement of development (full application)
2. B.1 External materials to be approved
3. B.4 Details of site/surface treatment
4. B.5 No equipment on roof
5. B.7 Details of refuse storage
6. C.8 Hours of construction
7. D.1 Provision of parking (for staff of commercial units only)
8. D.6 Cycle Parking
9. The work part of the live/work units hereby approved and shown on the approved drawing numbered 4119-06B shall be used for no other purpose

other than uses falling within Class B1 of the Town & Country Planning (Use Classes) Order in connection with the residual residential part of the units shown on the approved drawing and shall not be used for any other purpose without the prior written consent of the Local Planning Authority.

Reason for condition: To ensure that the work space is not used for any other purpose which is incompatible with residential use and in the interest of the amenities of the neighbouring residential occupiers.

10. The residential accommodation which is part of the approved live/work units and shown on the approved drawing numbered 4119-06B shall not be occupied by any person other than the occupier of the work part of the same approved live/work unit and not as independent self contained residential accommodation.

Reason for condition: To ensure that the live/work units are used as such and that the residential accommodation is used in connection with the approved live/work unit and not as independent self contained residential accommodation.



PREVIOUS SCHEMATIC

BUTTERFLY ROOF COVERINGS TO BE  
COLOUR COATED STAINLESS STEEL OR PATINATED COPPER WITH STAINING SEALS  
PAINTED STEEL STANDARDS SUPPORTED BY  
PAINTED STEEL STANDARDS WITH NATURAL WOODEN HANDRAILS

WINDOWS: GLAZING WITH PAINTED ALUMINIUM ALLOY  
DOUBLE GLAZED TO MEET UPM UNITS 710 PLATS  
WITH INSULATED GLAZING UNITS (IGU) WITH  
PAINTED STEEL STANDARDS SUPPORTED BY  
PAINTED STEEL STANDARDS WITH NATURAL WOODEN HANDRAILS

EXPOSED REINFORCED CONCRETE FLOOR SLAB EDGES  
(AS EXPRESSED ON THE EXTERNAL ELEVATIONS)  
RECESSED INTO THE STONE LIGHT CRACK COLUMN

EXTERNAL WALLS TO FLOOR LEVELS WITH AND WITH  
WHERE SHOWN TO LIGHT CREAT ON THE ELEVATIONS  
PAINTED RED BRICK

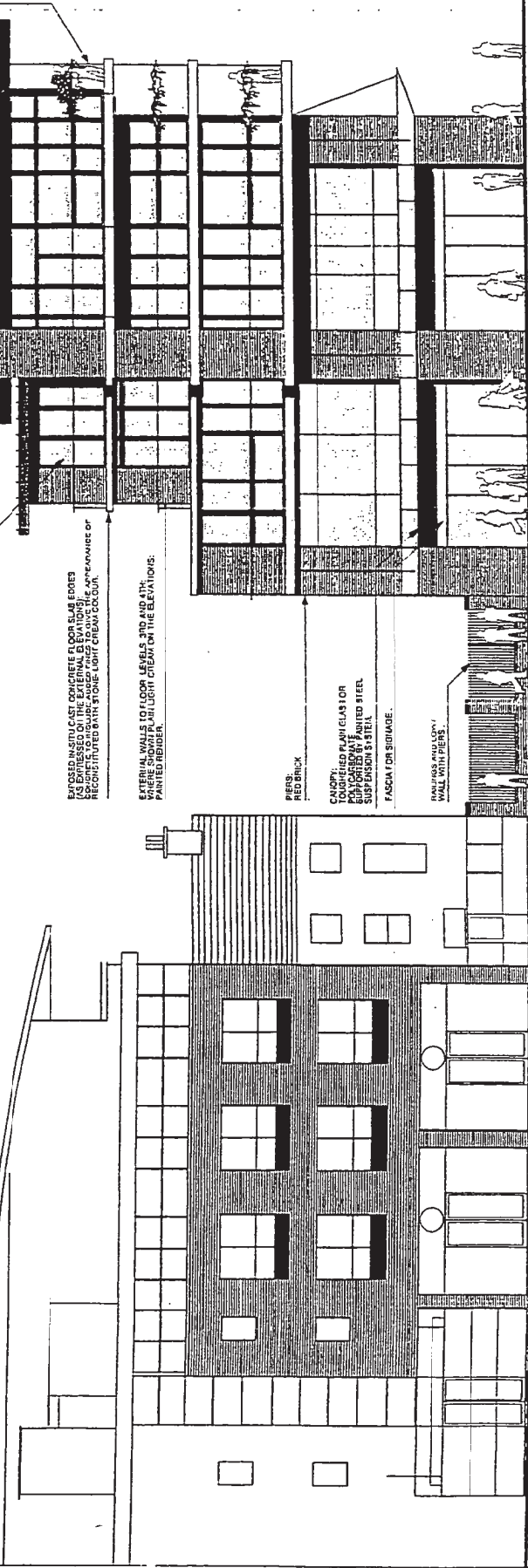
PIERS:  
RED BRICK

GLAZING:  
TOUGHENED PLAIN GLASS OR  
LOW EMISSION PAINTED STEEL  
SUSPENSION SYSTEM

FASCIA OR BRIDGE

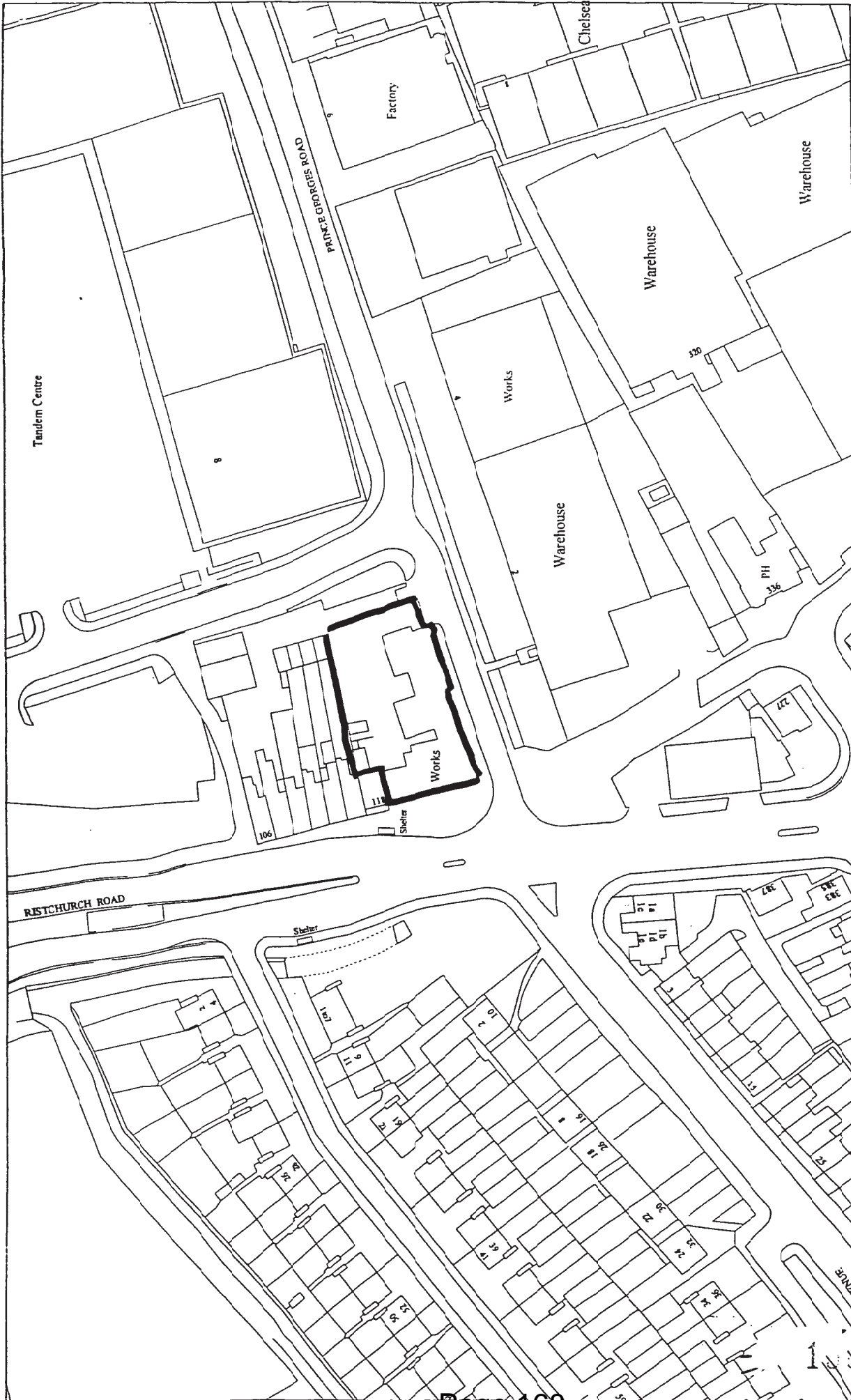
WALL WITH PERS  
WALL WITH PERS

Prince Georges Road



JEE ESTATES	
120 CHRISTCHURCH ROAD COLLIERS WOOD LONDON SW 19	
PROPOSED CHRISTCHURCH ROAD ELEVATIONS	
PROJECT NO.	4119-10 D
DATE	AUG 02
SCALE	AS SHOWN

Christchurch Road Elevation  
PROPOSED



**LAND @ JUNCTION OF CHRISTCHURCH ROAD  
AND PRINCE GEORGES ROAD**

**LONDON BOROUGH OF MERTON  
Environmental Services Department**

Civic Centre, London Road, Morden, Surrey, SM4 5DX  
Telephone: 020 8543 2222 Web: [www.merton.gov.uk](http://www.merton.gov.uk)

Date Printed: 31/10/02

Scale = 1 : 1250

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PLANNING APPLICATIONS & LICENSING COMMITTEE  
11 December 2003

Item No:

13

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>DATE VALID</u>
	03/P2290	27/10/2003

**Address/Site** 118 Christchurch Road, Colliers Wood, SW19

**Ward** Colliers Wood

**Proposal:** Erection of a 5 storey building comprising 1 retail (A1) unit on the ground floor, 2 live/work units and 14 self contained flats above together with basement parking for servicing vehicles and cycle parking.

**Drawing Nos** Site location plan (050/01), 050/03, 04, 05B, 06, 07, 08, 09B, 10B, 11B, 12B, 13A, 14, 15A, 16A, 17A & 18A

**Contact Officer:** Olawale Duyile (8545 3113)

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**RECOMMENDATION**

**Permission GRANTED subject to the completion of a Section 106 Obligation and conditions**

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1. **SITE AND SURROUNDINGS**

- 1.1 The application site lies on the eastern side of Christchurch Road near the junction of Prince George's Road. It measures about 520 square metres and comprises a 3 storey end of terrace house and vacant cleared land to the side. It is bounded to the north by the Tandem Centre Phase II development (comprising 5 flats, office (B1), retail and health & fitness centre) which was approved by the Committee in November 2002 subject to the completion of a Section 106 Agreement (LBM Ref: 01/P0636). This scheme has not been implemented and the site presently comprises a vacant terrace of 6 properties (soon to be demolished) and the adjacent car park to the north.
- 1.2 To the south and east, the site is bounded by 120 Christchurch Road, a vacant piece of land which is the subject of an application (LBM Ref: 02/P1707) that was considered at last month's Committee meeting. The Committee resolved to grant planning permission for a part 5 and part 6 storey building comprising 1 restaurant unit, 2 B1 units, 7 live/work units and 14 flats subject to the completion of a Section 106 Agreement involving financial contributions for off-site amenity space enhancements and towards sustainable transport initiatives. In addition, the Agreement also involves the

dedication of a rectangular piece of land Christchurch Road frontage to enable the implementation of Tramlink Proposal.

- 1.3 The application site is within the Colliers Wood Urban Centre in the Adopted Unitary Development Plan. It is also within an Archaeological Priority Zone and lies adjacent to the proposal for the extension to the Tram Line from Wimbledon to Croydon through Colliers Wood (Proposal 1T). In the Adopted UDP, the site (together with the adjacent sites – 120 Christchurch Road and Tandem Phase II) form Proposal 5CW identified for retail, employment and residential use.

## 2. CURRENT PROPOSAL

- 2.1 The application was originally submitted, proposing a 5 storey building comprising a retail unit on the ground floor, 1 Class B1 business unit on the first floor and 11 self contained flats above. Owing to site constraints and limited servicing opportunities, the applicant was advised to limit the extent of commercial usage by converting the B1 space to live/work units.
- 2.1 Consent is now sought for the erection of a 5 storey building to provide a retail unit (A1) on the ground floor, 2 live/work units on the first floor and 14 self contained flats (6 x 1 bed and 8 x 2 bed) on the upper floors. Provision is made within the basement area for cycle spaces and 5 servicing spaces in connection with the commercial uses. Owing to the site being landlocked and the inappropriateness of creating a vehicular access off Christchurch Road, the applicant was advised to consider creating vehicular access to the proposed basement from the basement of the adjacent development at 120 Christchurch Road (junction of Christchurch Road and Prince George's Road). An agreement has now been reached between the 2 developers and the basement area is accessed via the ramp to the basement of the adjoining site.
- 2.2 The proposed building measures about 17 metres in height and adopts the same design concept for the neighbouring 120 Christchurch Road development. It has a flat roof profile and the main elevation comprises brick and glazing. The ground floor elevation has a shopfront appearance, which is appropriate for the retail unit. The windows would be aluminium framed (powder coated) and the roof fascia coverings comprise copper strip with standing seams. A canopy made up of either glass or polycarbonate and supported by steel frames is proposed over the ground floor on the front elevation to Christchurch Road..

## 3. PLANNING HISTORY

- 3.1 In September 1992, planning permission was granted for the retention of 2 flats within the existing 3 storey terrace building (LBM Ref: 92/P0454). The adjacent vacant land appears to be part of the Paynes Works factory site, which has since been demolished.

#### 4. CONSULTATION

- 4.1 The proposal was advertised by means of press notice (major development), site notice and letters were sent to neighbouring occupiers, the Greater London Authority, Transport for London and London Borough of Wandsworth. No response has been received from neighbouring occupiers.
- 4.2 English Heritage: No archaeological implications.
- 4.3 Transport Planning: Based on the Council's standards, this development would normally require a maximum parking provision of 18 parking spaces for the residential element and a further 14 spaces for the remaining development. Therefore, parking provision is not consistent with the Council's UDP policy PK.2, PK.3 and PK.6. To set off the negative impacts of this development and to promote more sustainable alternatives in the vicinity and hence the need for on-site parking, including regulating on-street parking, a Section 106 contribution should be sought to promote sustainable transport initiatives including City Car Clubs, cycling and parking controls in the Colliers Wood area.
- 4.4 On balance, given moderate the moderate PTAL, previous appeal decisions relating to parking provision in similar locations and guidance set out in PPG 13, it is doubtful that parking would be sufficient grounds for refusal. Therefore there are no objections to the proposal subject to the Section 106 Agreement outlined above.
- 4.5 Environment Health have recommended conditions restricting, the hours of commercial operations, hours of construction and soundproofing of all plant and machinery

#### 5. POLICY CONTEXT

- 5.1 In the Adopted Unitary Development Plan, the site falls within Colliers Wood Urban Centre and within an Archaeological Priority Zone. The site, together with the adjoining sites also form Proposal 5CW (Retail, Employment and Residential). The relevant policies contained in the Second Deposit Draft Unitary Development Plan are CW.1 (Colliers Wood Urban Centre), CW.3 (Transport Infrastructures), MU.4 (Live/Work Development), HP.2 (Retention of Residential Accommodation), HP.4 (Density of Development), S.6 (Small Scale Retail Development Outside Existing Shopping Centres), HS.1 (Housing Layout and Amenity), E.1 (General Employment Policy), BE.18 (Archaeological Protection), BE.19 (Archaeological Evaluation), BE.20 (Archaeological Preservation), BE.21 (New Buildings and Extensions – Daylight & Sunlight), BE.22 (New Buildings and Extensions – Loss of Privacy & Visual Intrusion), BE.23 (Urban Design), BE.28 (Design of Development – New Development), PK.2 (Car Parking Standards), PK.3 (Car Parking and

Development), PK.6 (Parking Standards for Residential Development), LU.2 (Public Transport Accessibility) and LU.5 (Developer Contributions).

## 6. PLANNING CONSIDERATIONS

- 6.1 The main issues raised by the proposal are to consider the principle of the proposed mix of uses (including the loss of the residential units and the level of new retail floor space), to consider the design/layout issues, impact on the neighbouring developments and compliance with Council standards with regards to the internal layout of the development, servicing, car parking and amenity space provisions.

### Principle of Development

- 6.2 The proposed development is acceptable in principle, is consistent with the designated uses and complies with the relevant policies in the Adopted Unitary Development Plan. The balance of uses is also considered acceptable and appropriate within Colliers Wood Urban Centre as designated in the Adopted UDP. UDP policies and Central Government Guidance in PPG6 (Town Centres and Retail Development) presume against large-scale retail developments outside existing town centres of Wimbledon, Mitcham and Morden. The proposal involves a modest retail development of about 580 square metres (gross floor area). Of this total, about 230 square metres would be for ancillary storage. A net sales area of about 350 square metres is unlikely to be detrimental to the vitality and viability of the Borough's established town centres.

- 6.3 Whilst acknowledging BEPU's concerns, the exclusion of B1 from the proposed development is acceptable given the site's constraints and the operational difficulties that would be encountered by commercial users. On this basis, a live/work type commercial use rather than B1 would be appropriate. The provision of about 850 square metres of B1 floorspace on the 2 adjoining sites would fulfil the requirements of the site 5CW designation. There is a net increase in the number of residential units on the site by 12 and this satisfies policy HP.2 of the Adopted UDP.

### 6.4 Design and Layout

The proposal is for the erection of a modern building on this site. Because of its prominence, the site is considered suitable for a fairly high building. The building mass is similar to the approved development on the adjacent sites. It is also relevant to note that a higher building is proposed and approved for the 2CW (Merton Abbey Mills) site, which is diagonally opposite the application site. If developed, these buildings could offer a degree of balance to the streetscape as seen from the southern approach of Church Road. In the circumstances, there is a strong case for a high building on the site.

- 6.5 In terms of building design, the proposal is also satisfactory. The fenestration on Christchurch Road align with the adjacent developments at 120 Christchurch Road and Tandem Phase 2 and the facing materials, comprising glass, powder coated aluminium for the roof and windows and matching red

stock brick are acceptable and in keeping with the neighbouring approved development. The steel supported canopies would give the development a street presence, which is considered desirable given the site's prominence. The density standards in the Adopted UDP should not be applied to this infill development as there is a strong case for the need to follow the massing, height and intensity of the neighbouring developments.

- 6.6 The layout of the development including the servicing arrangement is satisfactory. The proposed development follows the building lines already established by the neighbouring developments on this frontage. In response to Highway Engineer's request, the proposed building has been set back on Christchurch Road frontage to facilitate the implementation of the tram line and other public transport initiatives earmarked for this part of Colliers Wood. The resulting piece of land on Christchurch Road frontage would be dedicated to the Council through Section 106 Agreement.
- 6.7 There is a requirement under Policy MU.4 for live/work units to have the work element at ground floor / street level. Given the site constraints and multi-use designation of this site, this will be difficult to achieve within this development. In the interest of ensuring vitality and viability, the relatively narrow frontage would best serve a retail unit rather than a combination of different uses.
- 6.8 Amenity Issues  
The proposal would not result in the loss of amenity for the future occupiers of the approved neighbouring developments. The proposed development would infill the gap between 2 developments. The side elevation of the neighbouring Tandem Phase II development facing the application site comprise a blank wall with no openings. There are few openings on the adjoining 120 Christchurch Road development, but these would be at right angle to the rear elevation of the proposed development.
- 6.9 Compliance with Council Standards – Parking and Amenity Space Provision  
The internal layout of the development complies with the adopted floorspace standards for new residential accommodation. Standards with respect to live/work units are still being formulated, but the layout is acceptable nevertheless. Changes have been incorporated to ensure that all access points and lift openings are 2 metre wide to facilitate the movement of bulky goods. There are also clear demarcations between the live and work units to allow proper monitoring should the need arise in future.
- 6.10 The proposal makes no provision for on-site amenity space as there is no scope for such provision given the site constraints. The developers recognise this and have agreed to provide a financial contribution towards open space improvements in the area or elsewhere in the Borough. There is scope for utilising the basement area for parking provision, but it is considered that this is best dedicated to servicing of the commercial uses rather than residential. It should be noted that the site is in an area of moderate public transport accessibility level (PTAL between 3 and 4), is served by bus routes and is within walking distance of Colliers Wood Underground station. The future tram line route in close proximity of the site should also help towards

encouraging sustainable modes of travel for the future occupiers of the site. There is provision for cycle storage within the basement area. In addition to the open space contribution, the developer has also agreed to a financial contribution towards sustainable transport initiatives within Colliers Wood Urban Centre.

## **7. SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT**

- 7.1 The proposed development relates well to the surroundings in terms of use and design. It would positively impact on local and community based businesses and represents an efficient use of brownfield land. The absence of car parking provision and provision of cycle storage facility have positive implications in that there would be a reduction in car dependence, thus encouraging greater dependence on sustainable forms of travel. The net sustainability score is +45.
- 7.2 The proposal does not constitute either a Schedule 1 or Schedule 2 development. Accordingly, the submission of an EIA is not required.

## **8. CONCLUSION**

- 8.1 The proposed mixed-use development is acceptable in principle and is not only encouraged within the Colliers Wood Urban Centre but also consistent with the site designation in the adopted UDP. The exclusion of employment (Class B1) whilst not desirable, is acceptable in the light of limited servicing opportunities and site constraints. The building has been set back on Christchurch Road frontage to allow the tramline proposal to be implemented. The land would be dedicated to the Council for this purpose. The lack of parking and amenity space provisions could be overcome by financial contributions towards sustainable transport, highway and open space improvements in the area. There would be no undesirable impact on the neighbouring developments and in these circumstances, the proposal is acceptable.

## **RECOMMENDATION**

### **GRANT PLANNING PERMISSION**

Subject to the completion of a Section 106 obligation covering the following heads of terms:-

1. The provision of financial contribution towards the enhancement of off-site amenity space;
2. The provision of financial contribution towards the provision of sustainable transport initiatives (including measures to improve cycling and pedestrian



facilities) within Colliers Wood Urban Centre or nearby or investigation and implementation of parking restrictions in the vicinity of the site;

3. Dedication of land on Christchurch Road frontage to enable the enhancements of public transport network as required by Proposal 1T in the Schedule of the Adopted Unitary Development Plan;
4. The developer meeting all professional costs and the costs of preparation, completion and monitoring of any legal agreement with the Council.

and the following conditions:-

1. A.1 Commencement of development (full application)
2. B.1 External materials to be approved
3. B.4 Details of site/surface treatment
4. B.5 No equipment on roof
5. B.7 Details of refuse storage
6. C.8 Hours of construction
7. D.1 Provision of parking (for commercial units only)
8. D.6 Cycle Parking
9. The work part of the live/work units hereby approved and shown on the approved drawing numbered 050/09B shall be used for no other purpose other than uses falling within Class B1 of the Town & Country Planning (Use Classes) Order in connection with the residual residential part of the units shown on the approved drawing and shall not be used for any other purpose without the prior written consent of the Local Planning Authority.

Reason for condition: To ensure that the work space is not used for any other purpose which is incompatible with residential use and in the interest of the amenities of the neighbouring residential occupiers.

10. The residential accommodation which is part of the approved live/work units and shown on the approved drawing numbered 050/09B shall not be occupied by any person other than the occupier of the work part of the same approved live/work unit and not as independent self contained residential accommodation.

Reason for condition: To ensure that the live/work units are used as such and that the residential accommodation is used in connection with the approved live/work unit and not as independent self contained residential accommodation.

11. F.1 (Restriction on the hours of retail use- 08.00 to 22.00 hours Monday to Saturday and 08.00 to 21.00 hours on Sunday and Bank Holiday and no deliveries shall take place outside these hours).
12. All plant and machinery shall be enclosed and sound proofed in accordance with the scheme previously submitted to and approved in writing by the local planning authority. Before any installation and such sound insulation shall be permanently maintained thereafter. The sound pressure levels from the extract fan and duct work and any other plant associated with the use of this building shall not increase the background noise level by more than 2dBA (5 min LAEQ) when measured at 1m from the nearest noise sensitive property.

Reason for condition

To safeguard the amenities of the occupiers of adjoining residential properties.

**Informative:** Historic mapping for this site shows the land use as 'works ' from 1976 onwards and I understand there has been a factory on the site previously. No further information is available and I would suggest that the applicants be made aware of this and the exact usage be established. This Department would require clarification from the applicant on these issues to safeguard that any potential contamination on site is dealt with if present.

**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRIXTON,  
 LONDON, SW2 3NJ

Site: 114 CHRISTCHURCH ROAD  
 100.1165 (AOD)  
 London SW 3

Client: S. ASLAK

Drawings: EXISTING  
 PROJECT: ELEVATION

Date to: 02/07/04

Scale: 1:200 (g) A3

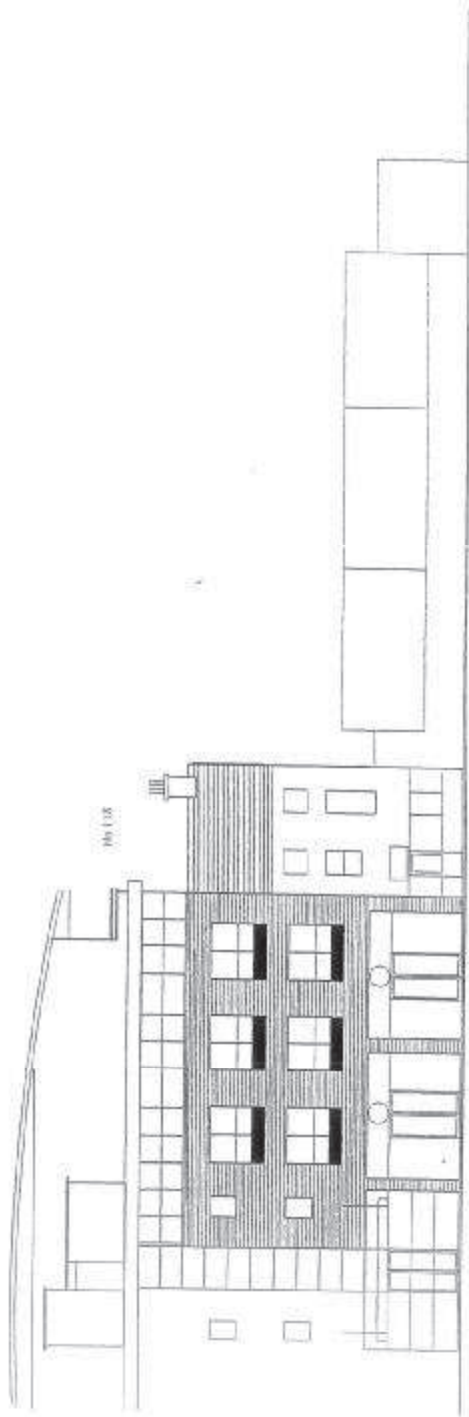
Date: OCT 2003

PRINCE GEORGES ROAD

ADJACENT SITE BOUNDARY SEPARATE  
 CONVEYANCE  
 (PART OF THE SITE AND ADJACENT)

THE APPLICATION SITE

SITE OF PROPOSED TANDEN 3 CENTRE  
 (TYPICAL)

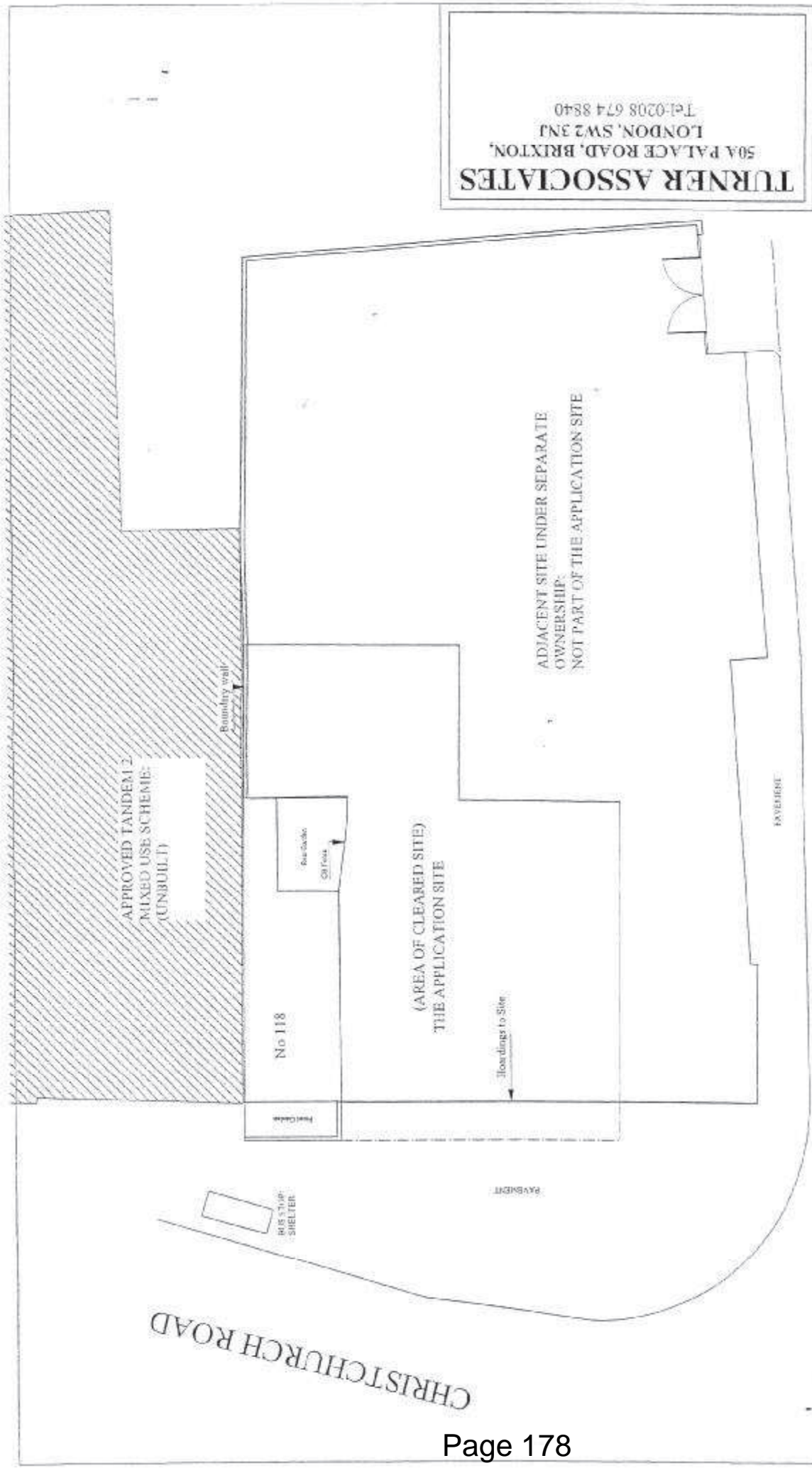


**EXISTING  
 ELEVATION TO CHRISTCHURCH ROAD  
 SCALE 1:200**

**TURNER ASSOCIATES**

50A PALACE ROAD, BRIXTON,  
LONDON, SW2 3NT  
Tel: 0208 674 8840

PROJECT	118 CHRISTCHURCH ROAD COLLEENS AVENUE LONDON SW19		
CLIENT	S. ASLAM		
DESCRIPTION	EXISTING SITE PLAN		
DATE	15/11/03	REVISION	
SHEET	1: 202 @ A3		
DATE	OCT 2003		



PRINCE GEORGES ROAD

**EXISTING SITE PLAN**  
**SCALE 1:200**

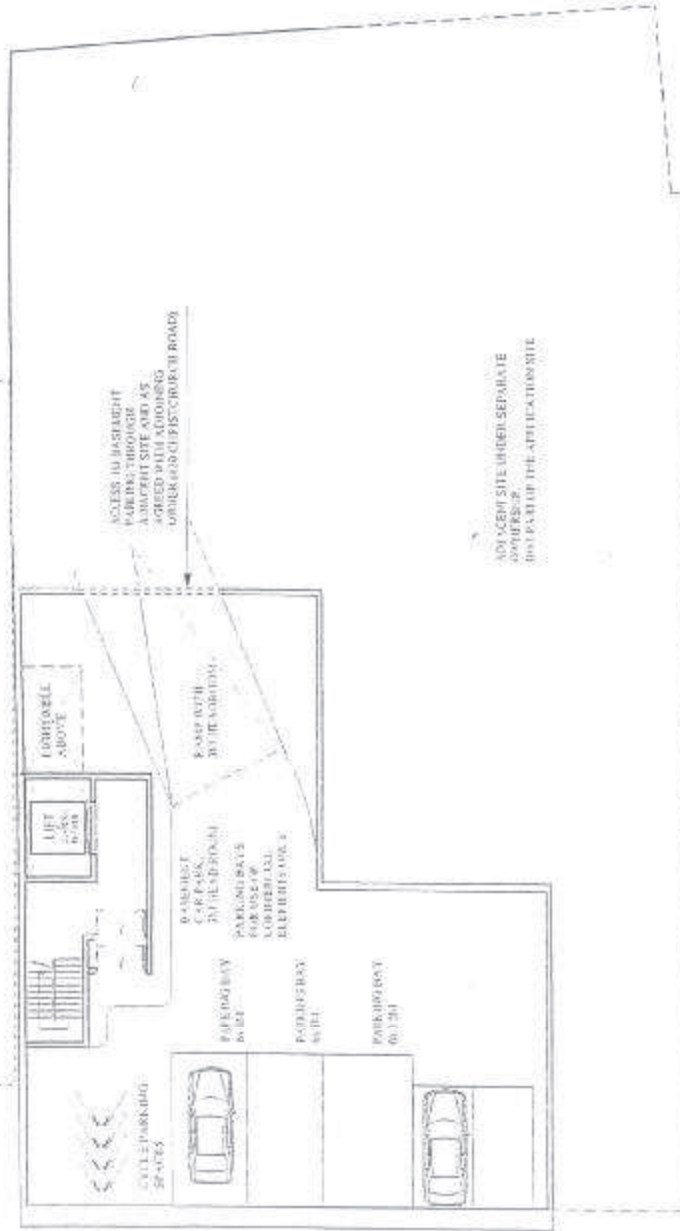
187

**TURNER ASSOCIATES**  
 50A PALACE ROAD, Brixton,  
 LONDON, SW2 3NJ  
 Tel: 0208 674 8840

JOB	116 CHRISTCHURCH ROAD COLLIER'S WOOD LONDON SW 12
CURT	S. ASLAM
Drawn: G.	REVISIO: 0
Scale:	0.50 @ 0.5 B
Date:	1: 200 @ A3
Over:	OCT 2003

BASEMENT NET AREA: 350.6SQ M

APPROVED TANKS & 2  
MIXED USE SCHEME  
(UNBUILT)



CHRISTCHURCH ROAD ABOVE

**PROPOSED  
 BASEMENT FLOOR PLAN  
 SCALE 1:200**

PRINCE GEORGES ROAD ABOVE

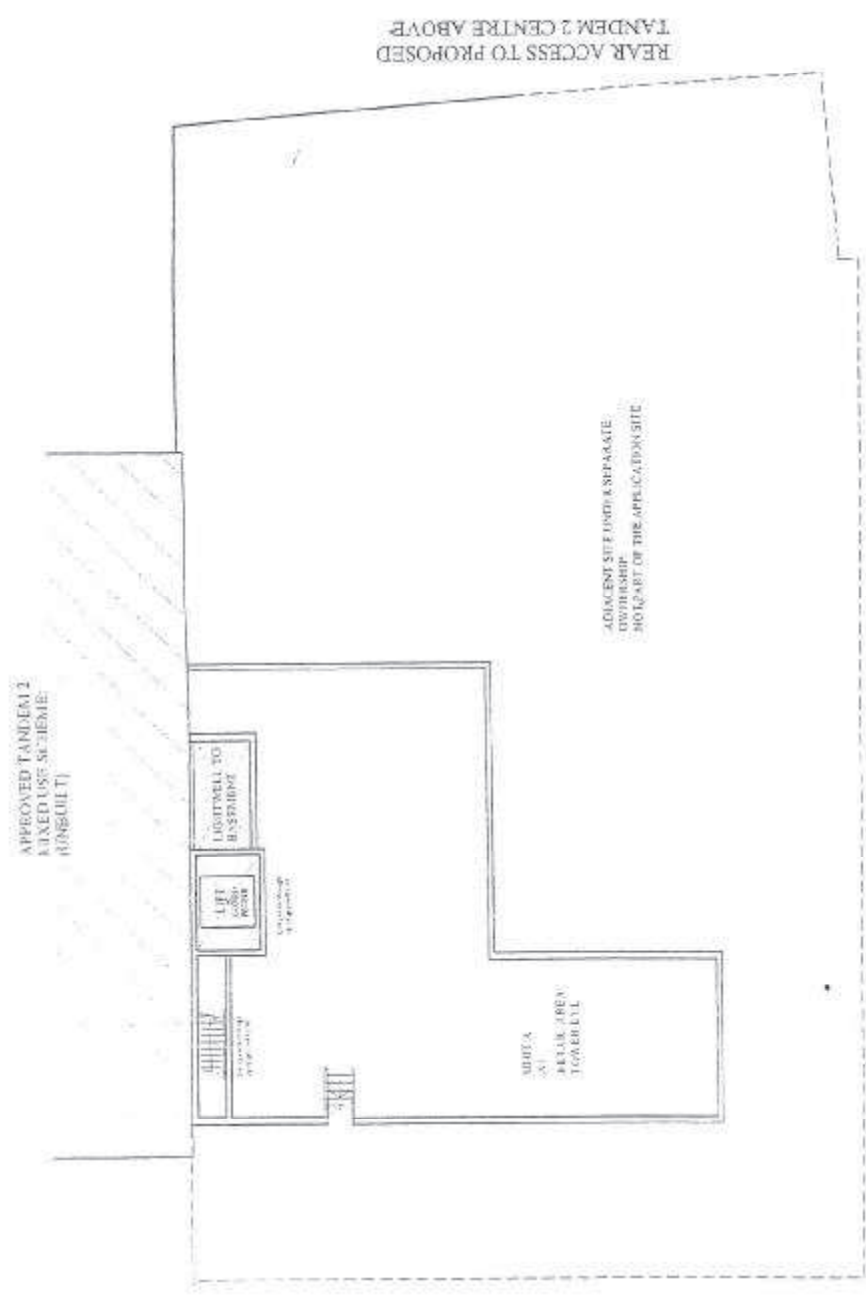
GROSS AREA BASEMENT: 419.6SQ M

**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRITXTON,  
 LONDON, SW2 3NJ  
 Tel: 0208 674 8840

JOB	118 CHRISTCHURCH ROAD COLLERS WOOD LONDON SW 19
CLIENT	3. ASL 141
Drawings	PROPOSED LOWER GROUND PLAN
Job No.	050 / 06
Scale	1: 200 @ A3
Date	OCT 2003

LOWER GROUND NET AREA: 224.5 SQ M

GROSS AREA LOWER GROUND: 277.4 SQ M



**PROPOSED LOWER  
 GROUND FLOOR PLAN  
 SCALE 1:200**

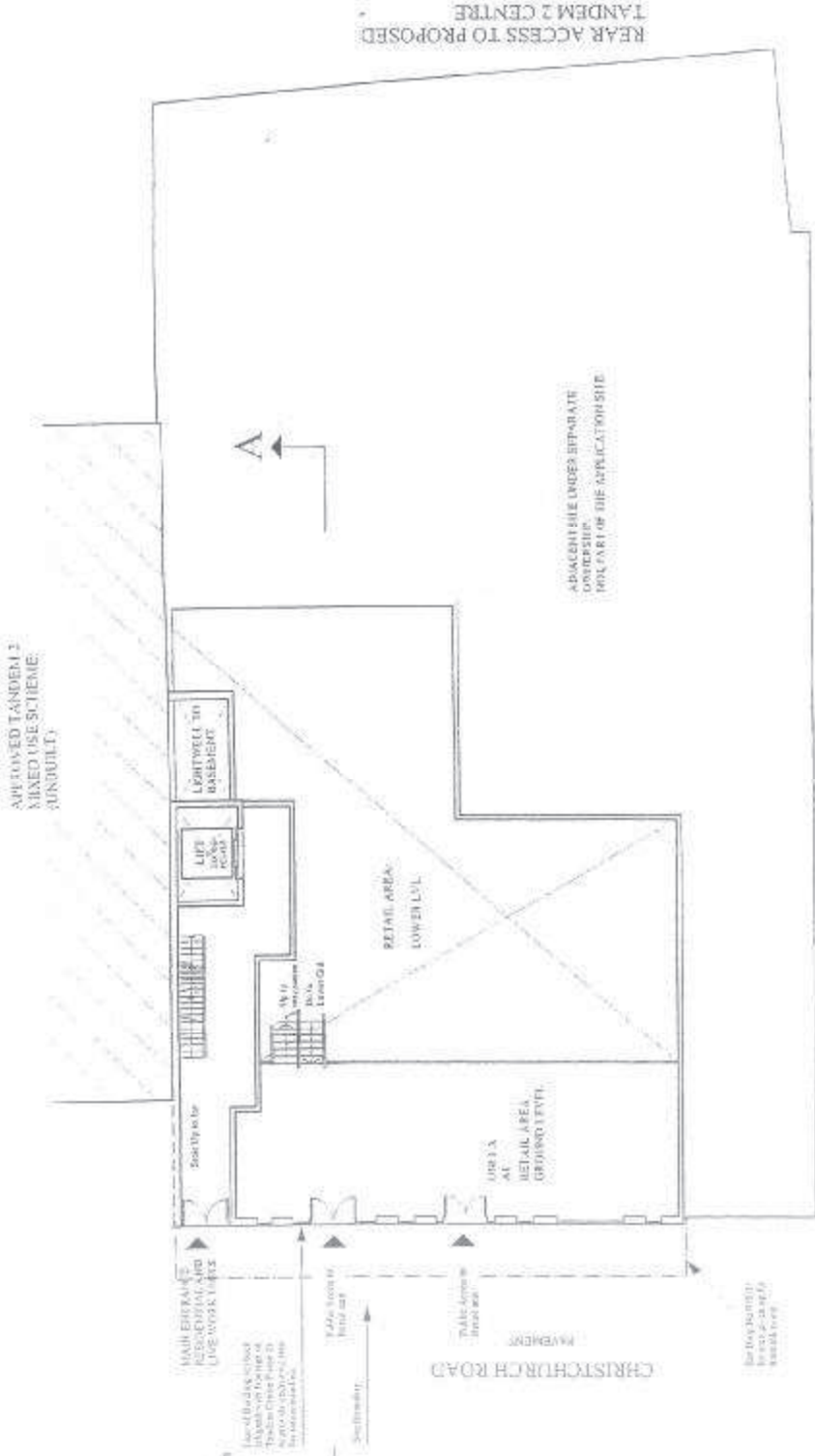
**TURNER ASSOCIATES**

50A PALACE ROAD, BRUXTON,  
LONDON, SW2 3NJ  
Tel: 0208 674 8840

NO	118 CHRISTCHURCH ROAD COLLERSWOOD LONDON SW10
CLIENT	S. ASLAM
DESCRIPTION	PROPOSED GROUND FLOOR PLAN
JOB NO	05/07/07
DATE	1:30 (2) A3
SCALE	OCT 2003

GROUND NET AREA: 109.2 SQ.M

GROSS AREA GROUND: 451 SQ.M  
SITE AREA: 513.7 SQ.M



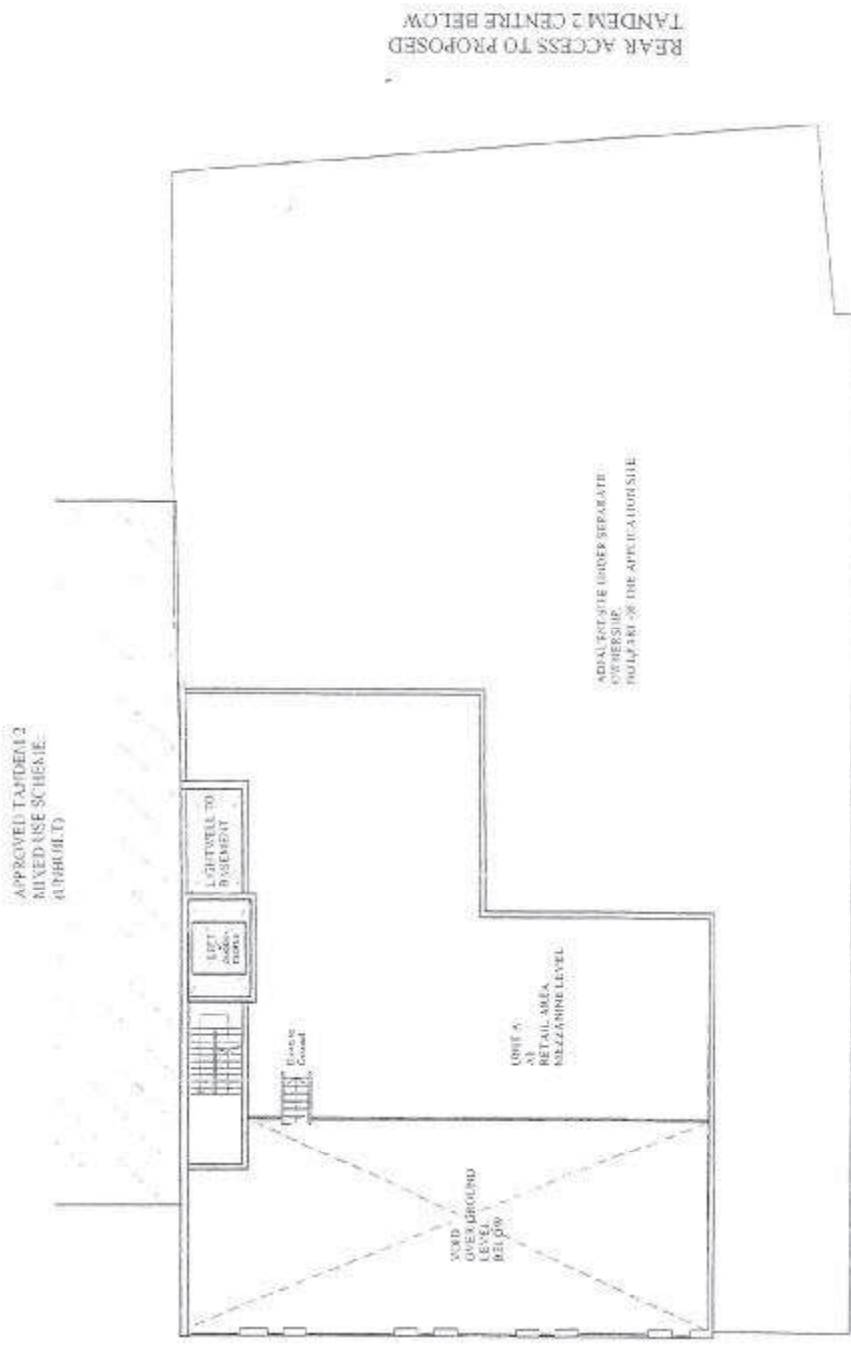
**PROPOSED  
GROUND FLOOR PLAN  
SCALE 1:200**

**TURNER ASSOCIATES**  
 30A PALACE ROAD, Brixton,  
 LONDON, SW2 3NF  
 Tel: 0208 674 8840

Project No	18 CHRISTCHURCH ROAD COLLEERS WALK LONDON SW 19
Client	S/ST/AM
Drawing	PROPOSED MEZZANINE PLAN
Date	03/08
Scale	1:200 @ A3
Date	OCT 2003

MEZZANINE NET AREA: 232.2 SQ M

GROSS AREA MEZZANINE: 451 SQ M

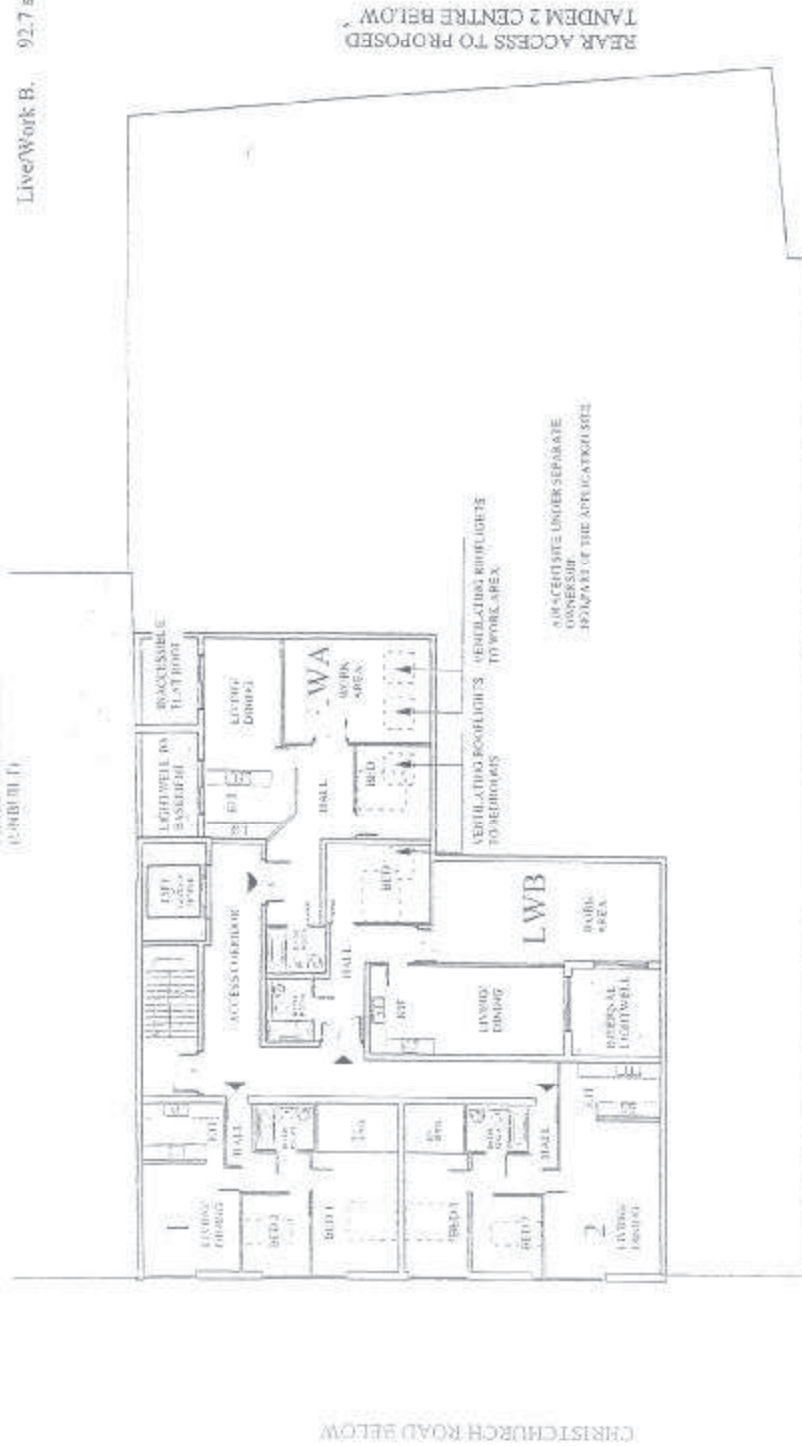


**PROPOSED  
 MEZZANINE FLOOR PLAN  
 SCALE 1:200**  
 PRINCE GEORGES ROAD BELOW  
 CHRISTCHURCH ROAD BELOW



- Flat 1. 66.1 sq m (2 Bed)
- Flat 2. 74.0 sq m (2 Bed)
- Live/Work A. 83.2 sq m (1 Bed)
- Live/Work B. 92.7 sq m (1 Bed)

APPROVED ADDRESS 2  
MIXED USE SCHEME  
(L-000011)



**PROPOSED  
FIRST FLOOR PLAN  
SCALE 1:200**

PRINCE GEORGES ROAD BELOW

GROSS FLOOR AREA 1ST FLOOR: 410.6 SQ.M

**TURNER ASSOCIATES**  
50A PALACE ROAD, BRITTON,  
LONDON, SW2 3NJ  
Tel: 0208 674 8840

Job 18 CHESTNURCH ROAD  
COLLERS WOOD  
LONDON SE 19

Client S. ASLAM

PROPOSED  
Drawing 1ST FLOOR PLAN

Date 05/10/09

Scale 1:200 @ A3  
Notes:  
A. ABOVE  
B. BELOW  
C. CONTIGUOUS  
D. DISCONTIGUOUS

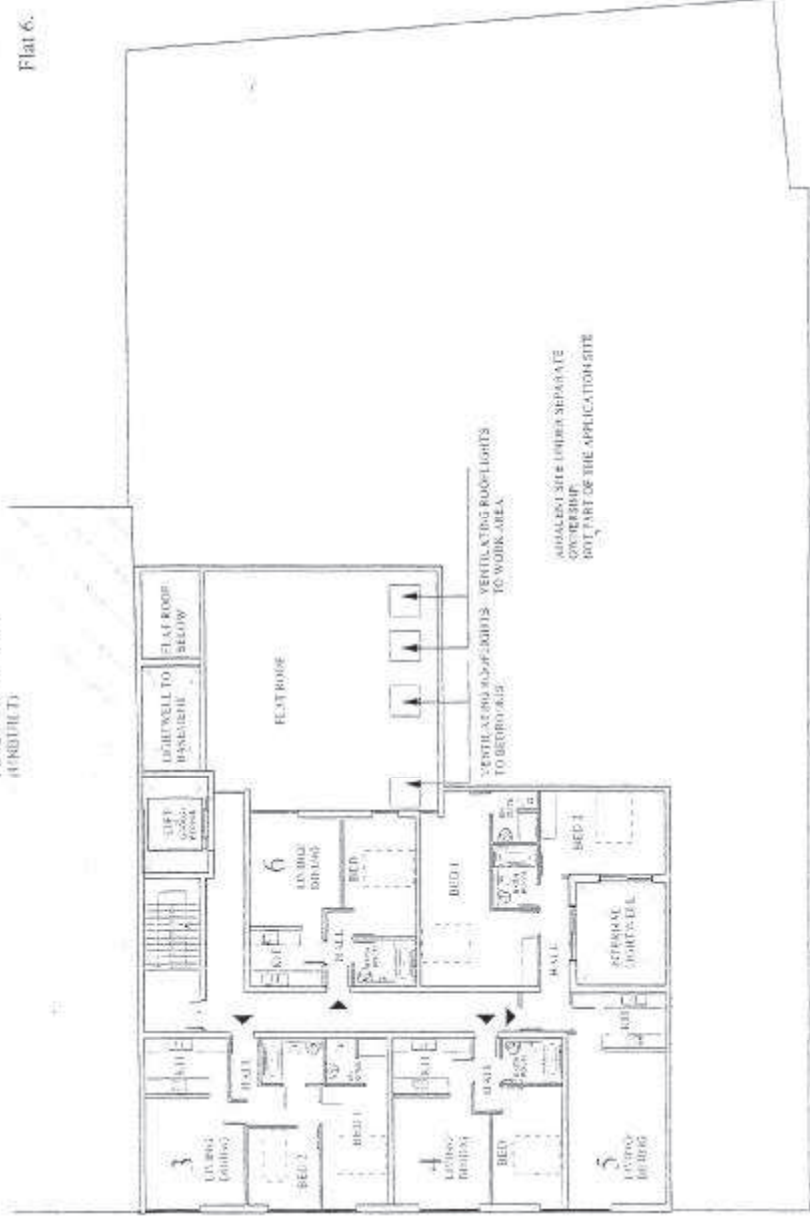
Date OCT 2009

**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRIXTON,  
 LONDON, SW2 3NJ  
 Tel: 0208 674 8840

JOB	118 CHRISTCHURCH ROAD COLDERS WOOD LODGE SW 19
CLIENT	8, ASH AVE
PROJECT	3RD FLOOR PLAN
DATE	05/01/03
SCALE	1:200 @ A3
DRAWN	OCT 2003

- Flat 3. 61.7 sq m (2 Bed)
- Flat 4. 45.0 sq m (1 Bed)
- Flat 5. 91.4 sq m (2 Bed)
- Flat 6. 45.0 sq m (1 Bed)

APPROVED TANDEM 2  
 LIFTWISE SCHEME  
 (HORIZONTAL)



**PROPOSED  
 SECOND FLOOR PLAN  
 SCALE 1:200**

GROSS FLOOR AREA 2ND FLOOR: 336.5 SQ M

# TURNER ASSOCIATES

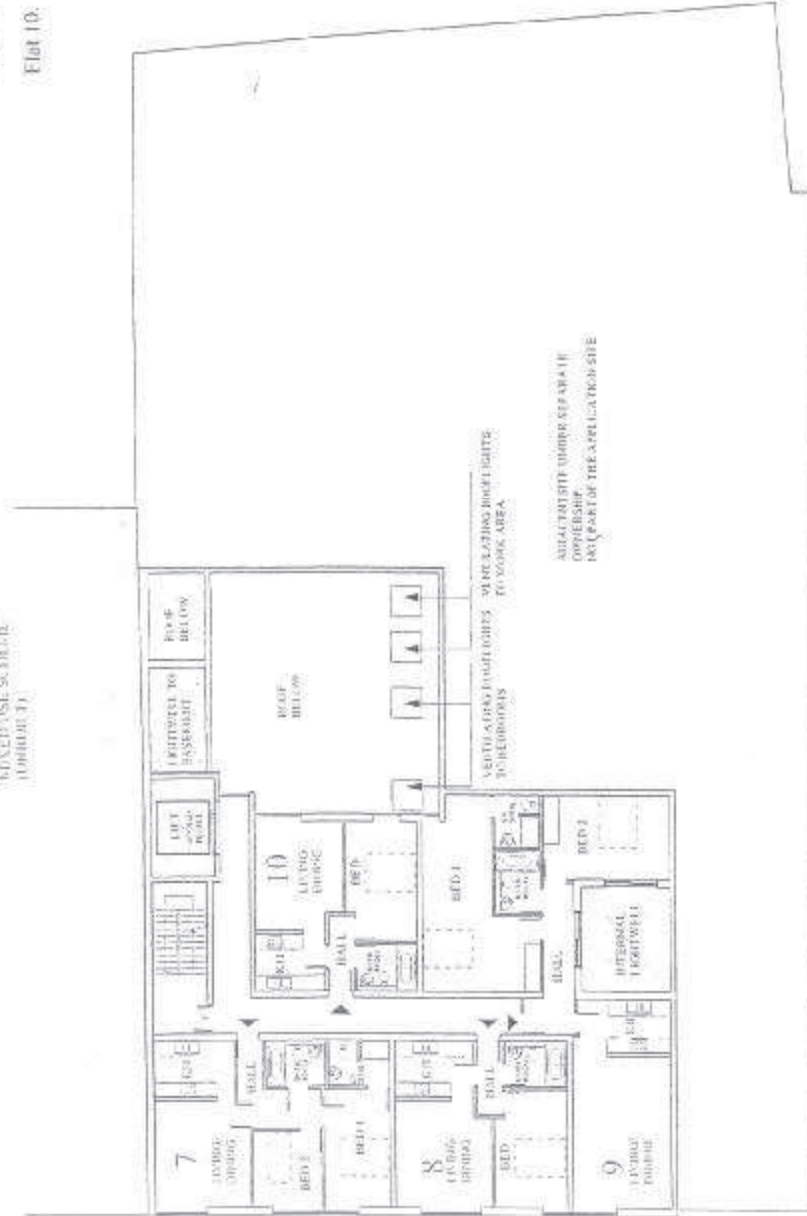
50A PALACE ROAD, BRIXTON,  
LONDON, SW2 3NJ  
Tel: 0208 674 8840

JOB	118 CHRISTCHURCH ROAD 50A PALACE ROAD LONDON SW2 3NJ
CLIENT	S. ASLAM
PROPOSED DRAWING	PROPOSED DRAWING - 3RD FLOOR PLAN
JOB NO.	0507 11 B
DATE	1. 2009 @ A3
DATE	OCT 2003

- Flat 7. 61.7 sq m (2 Bed)
- Flat 8. 45.0 sq m (1 Bed)
- Flat 9. 61.4 sq m (2 Bed)
- Flat 10. 45.0 sq m (1 Bed)

REAR ACCESS TO PROPOSED  
TANDEM 2 CENTRE BELOW

APPROVED TANDEM 2  
MIXED USE SCHEME  
(08/0041/3)



CHRISTCHURCH ROAD BELOW

PRINCE GEORGES ROAD BELOW

## PROPOSED THIRD FLOOR PLAN SCALE 1:200

GROSS FLOOR AREA 3RD FLOOR: 336.5 SQ M

**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRIXTON,  
 LONDON, SW2 3NJ  
 Tel: 0208 674 8840

108 118 CHRISTCHURCH ROAD  
 DOLERS WOOD  
 LONDON SW 19

CLIENT S. ASLAM

PROPOSED  
 DRAWING 4TH FLOOR PLAN

DATE 05/12/03

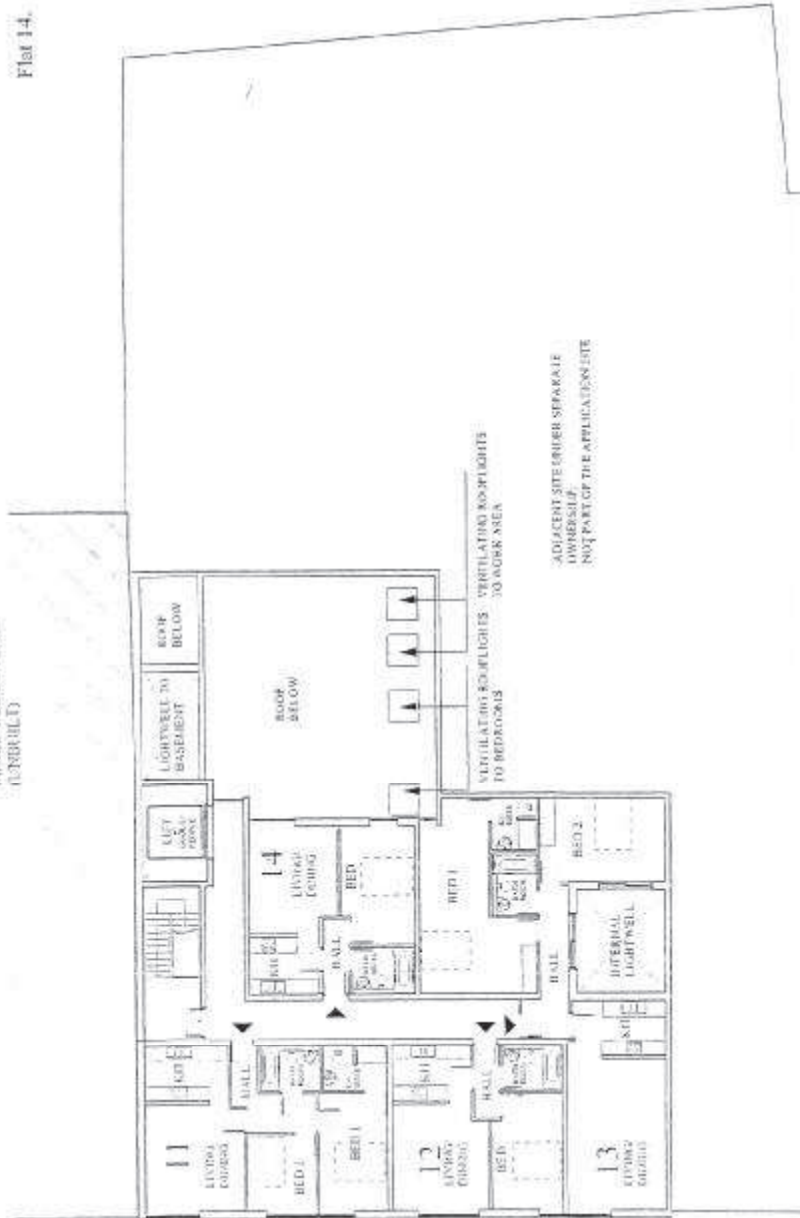
Scale 1:200 @ A3  
 Review  
 A. BROWN  
 TURNER ASSOCIATES  
 PL0208/03/03/03

Date OCT 2003

- Flat 11. 61.7 sq m (2 Bed)
- Flat 12. 45.0 sq m (1 Bed)
- Flat 13. 91.4 sq m (2 Bed)
- Flat 14. 45.0 sq m (1 Bed)

REAR ACCESS TO PROPOSED  
 TANDDEM 2 CENTRE BELOW

APPROVED TANDDEM 2  
 MIXED USE SCHEME  
 (TO BE BUILT)



**PROPOSED  
 FOURTH FLOOR PLAN  
 SCALE 1:200**

GROSS FLOOR AREA 4TH FLOOR: 336.5 SQ.M

195

**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRIXTON,  
 LONDON, SW2 3NJ  
 Tel: 0208 674 8840

FOR 1 & 2 BRISTOLCHURCH ROAD,  
 COLLIER'S WYND,  
 LONDON SW 19

DRAWN BY S. ASLAM

PROPOSED ROOF  
 FLAT

Scale 05/13 A

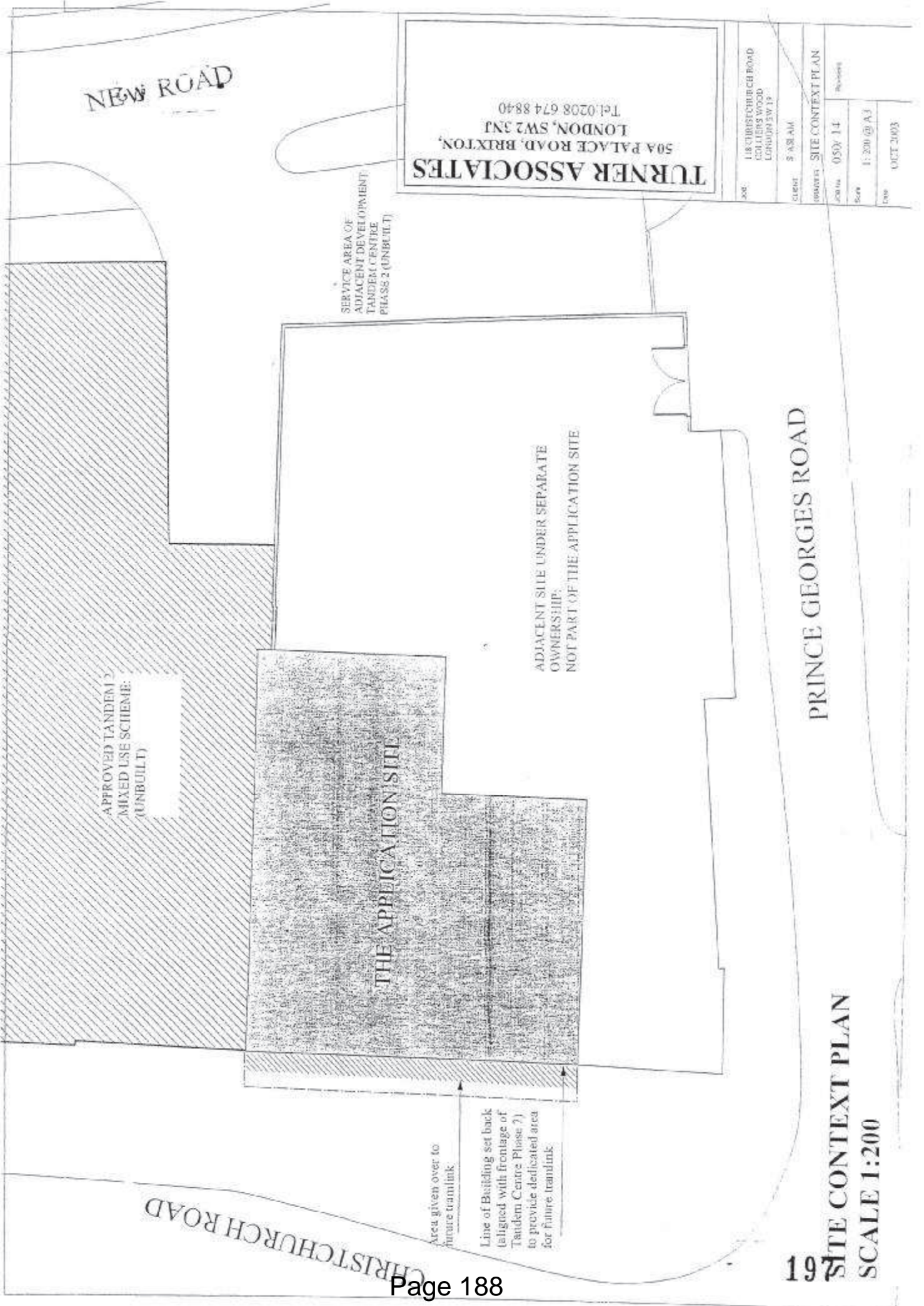
Number of floors  
 A. 1 floor  
 B. 1 floor  
 C. 1 floor  
 D. 1 floor  
 E. 1 floor  
 F. 1 floor  
 G. 1 floor  
 H. 1 floor  
 I. 1 floor  
 J. 1 floor  
 K. 1 floor  
 L. 1 floor  
 M. 1 floor  
 N. 1 floor  
 O. 1 floor  
 P. 1 floor  
 Q. 1 floor  
 R. 1 floor  
 S. 1 floor  
 T. 1 floor  
 U. 1 floor  
 V. 1 floor  
 W. 1 floor  
 X. 1 floor  
 Y. 1 floor  
 Z. 1 floor

Date 1: 2013 @ A.3

Date OCT 2013



**PROPOSED  
 ROOF PLAN  
 SCALE 1:200**



**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRXTON,  
 LONDON, SW2 3NT  
 Tel: 0208 674 8840

JOB	18 CHRISTCHURCH ROAD COLLERS WOOD LONDON SW13 1P
CLIENT	SASIM
OPERATION	SITE CONTEXT PLAN
DATE	05/14
SCALE	1:200 @ A3
REV	OCT 2003

APPROVED TANDEM 2  
 MIXED USE SCHEME  
 (UNBUILT)

SERVICE AREA OF  
 ADJACENT DEVELOPMENT  
 TANDEM CENTRE  
 PHASE 2 (UNBUILT)

THE APPLICATION SITE

ADJACENT SITE UNDER SEPARATE  
 OWNERSHIP  
 NOT PART OF THE APPLICATION SITE

PRINCE GEORGES ROAD

CHRISTCHURCH ROAD

Area given over to  
 future tramlink  
 Line of Building set back  
 (aligned with frontage of  
 Tandem Centre Phase ?)  
 to provide dedicated area  
 for future tramlink

**191**  
**SITE CONTEXT PLAN**  
**SCALE 1:200**

**TURNER ASSOCIATES**

50A PALACE ROAD, BRIXTON,  
LONDON, SW2 3NJ  
Tel: 0208 674 8840

JOB: 116 CHRISTCHURCH ROAD  
COLLIER'S WOOD  
LONDON SW19

CLIENT: S. ASLAM

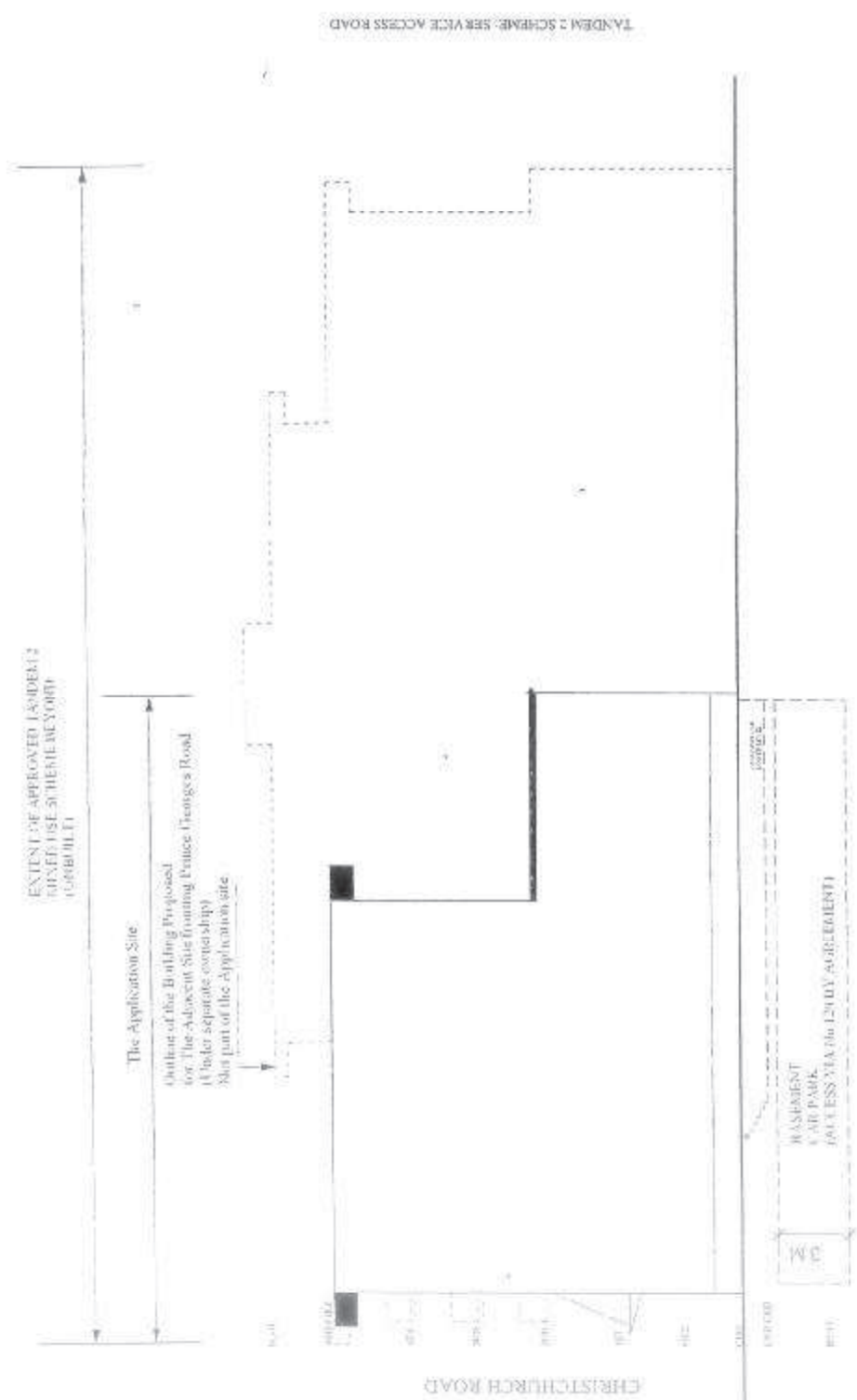
PROJECT: PROPOSED PIPING  
DRAWING: GEORGES ROAD ELEVATION

JOB NO.: 0510/15 - A

Revision  
A: 30/05/15  
B: 06/08/15

Scale: 1:200 @ A3

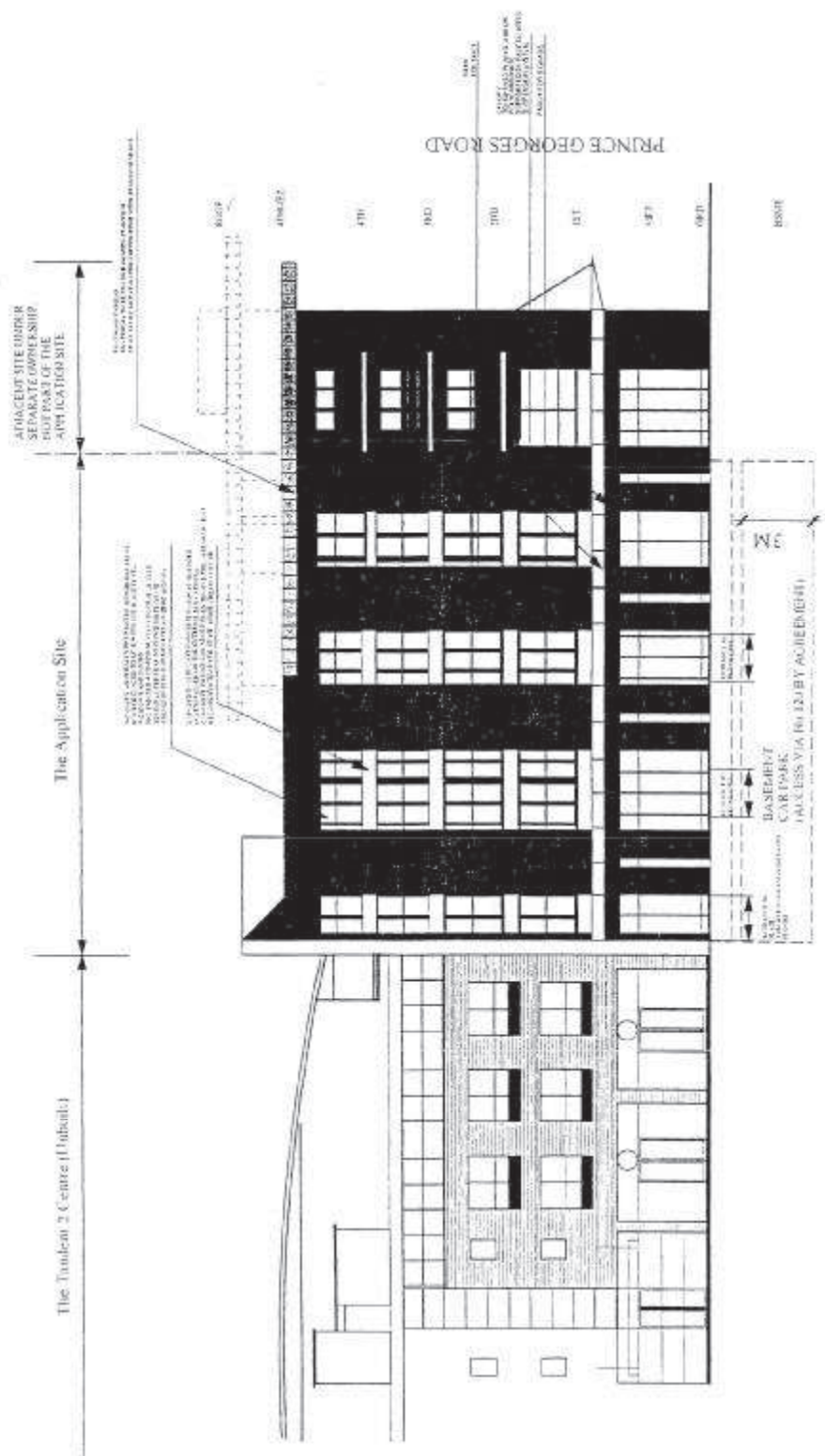
Date: OCT 2003



**PROPOSED  
ELEVATION TO PRINCE GEORGES ROAD  
SCALE 1:200**

**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRINTON,  
 LONDON, SW2 3NJ  
 Tel: 0208 674 8840

JOB	116 CHRISTCHURCH ROAD COLLIER'S WOOD LONDON SW19
DRAWN	S. ASLAM
PROJECT	PROPOSED CHRISTCHURCH ROAD ELEVATION
ADDN	05/01/16 A
Scale	1:200 @ A3
DATE	OCT 2003



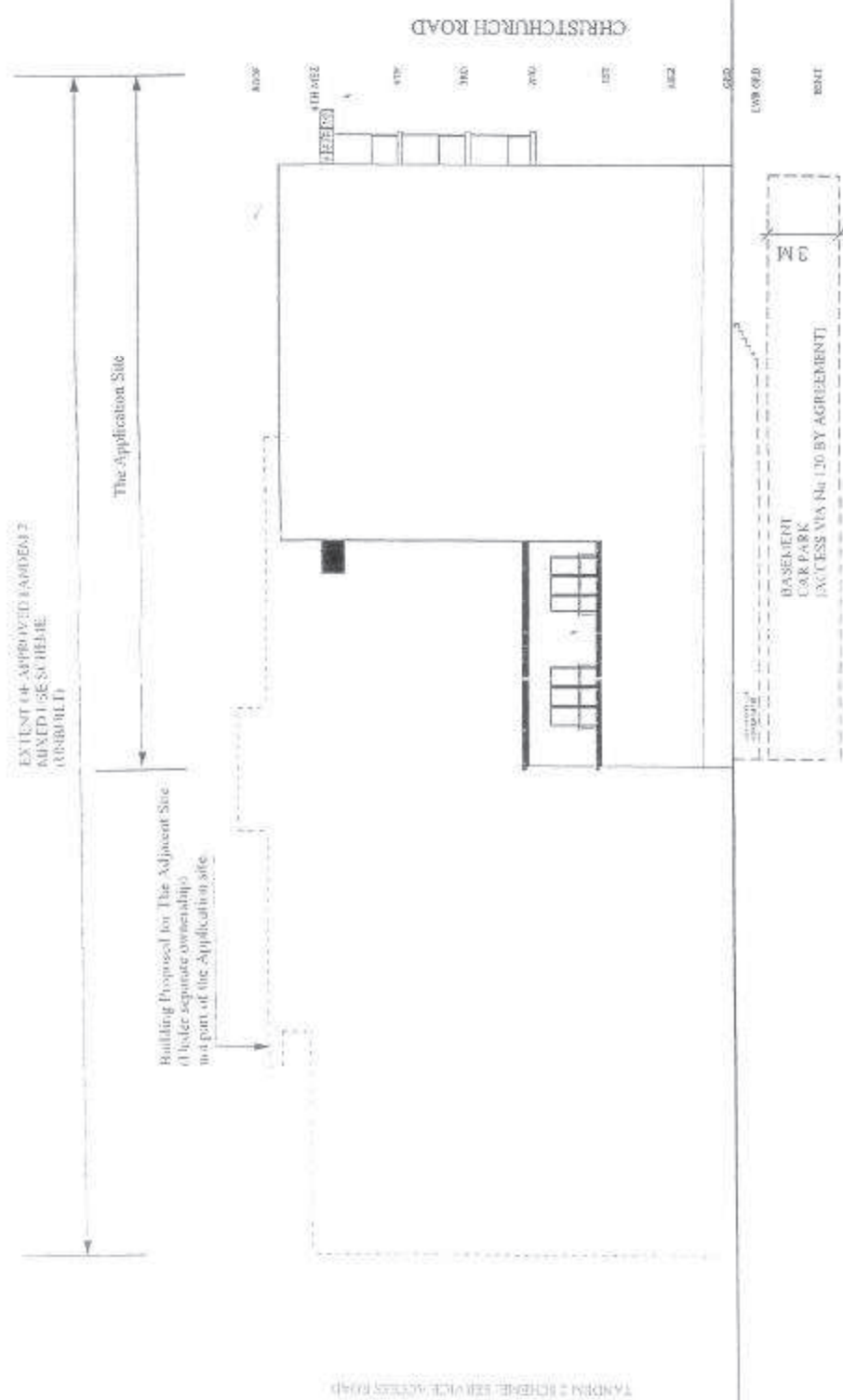
**PROPOSED  
 CHRISTCHURCH ROAD ELEVATION  
 SCALE 1:200**



**TURNER ASSOCIATES**

50A PALACE ROAD, BRIXTON,  
LONDON, SW2 3NJ  
Tel: 0208 674 8840

Job	118 CHRISTCHURCH ROAD COLLENS WOOD EPPING, SW 19
Client	S. ASLAM
Drawn by	PROPOSED FLANK ELEVATION
Job No	050/17 A
Scale	1:200 @ A3
Date	OCT 2003



**PROPOSED  
FLANK ELEVATION TO PROPOSED  
TANDEM 2 CENTRE  
SCALE 1:200**

200

**TURNER ASSOCIATES**  
 50A PALACE ROAD, BRIXTON,  
 LONDON, SW2 3NJ  
 Tel: 0208 674 8840

#18 18 CHRISTCHURCH ROAD  
 COLLERS WOOD  
 LONDON SW19

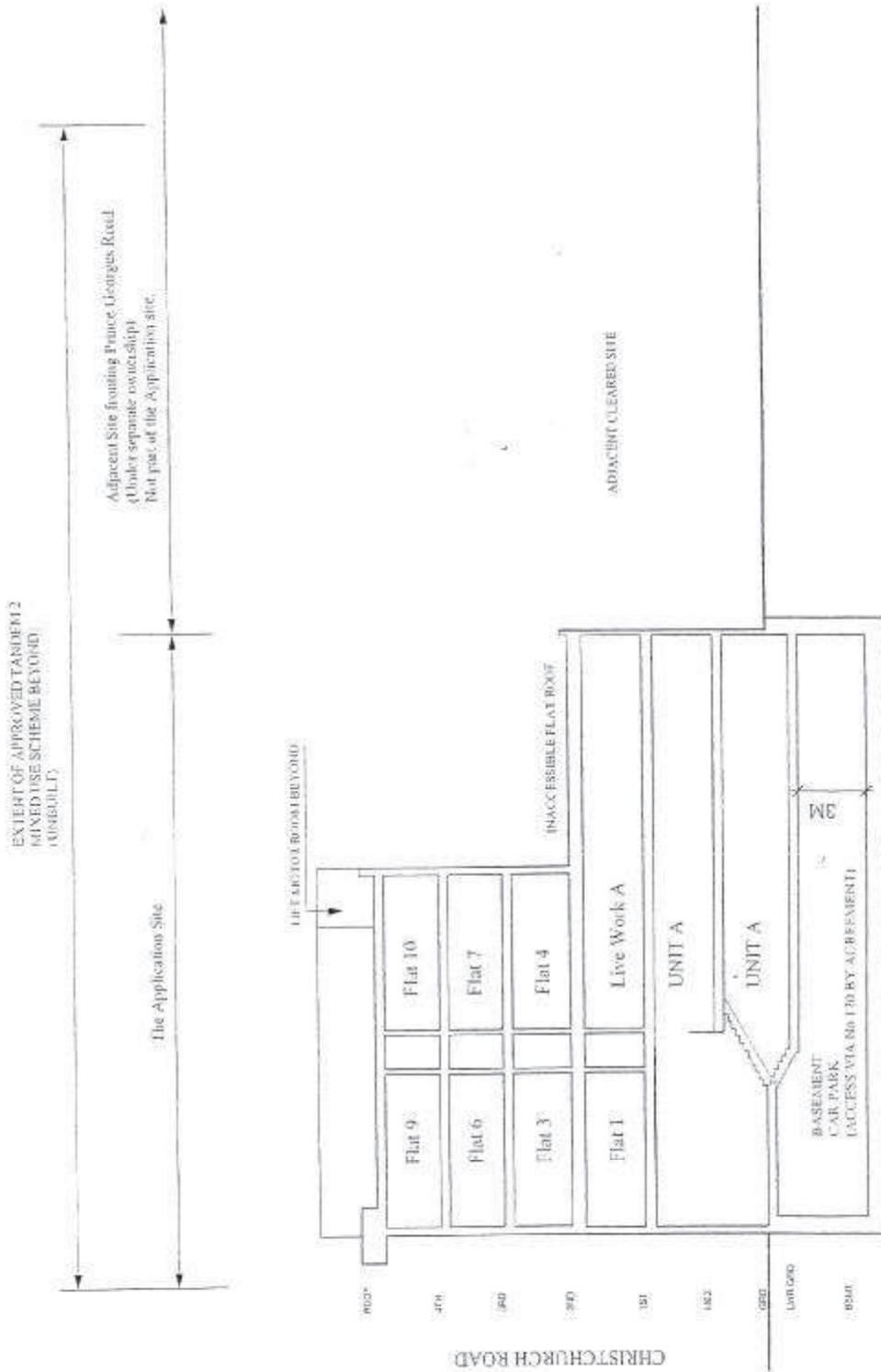
CLIENT S. ASLAM

PROJECT PROPOSED  
 DRAWING SECTION A/A

DATE 05/11/15 A

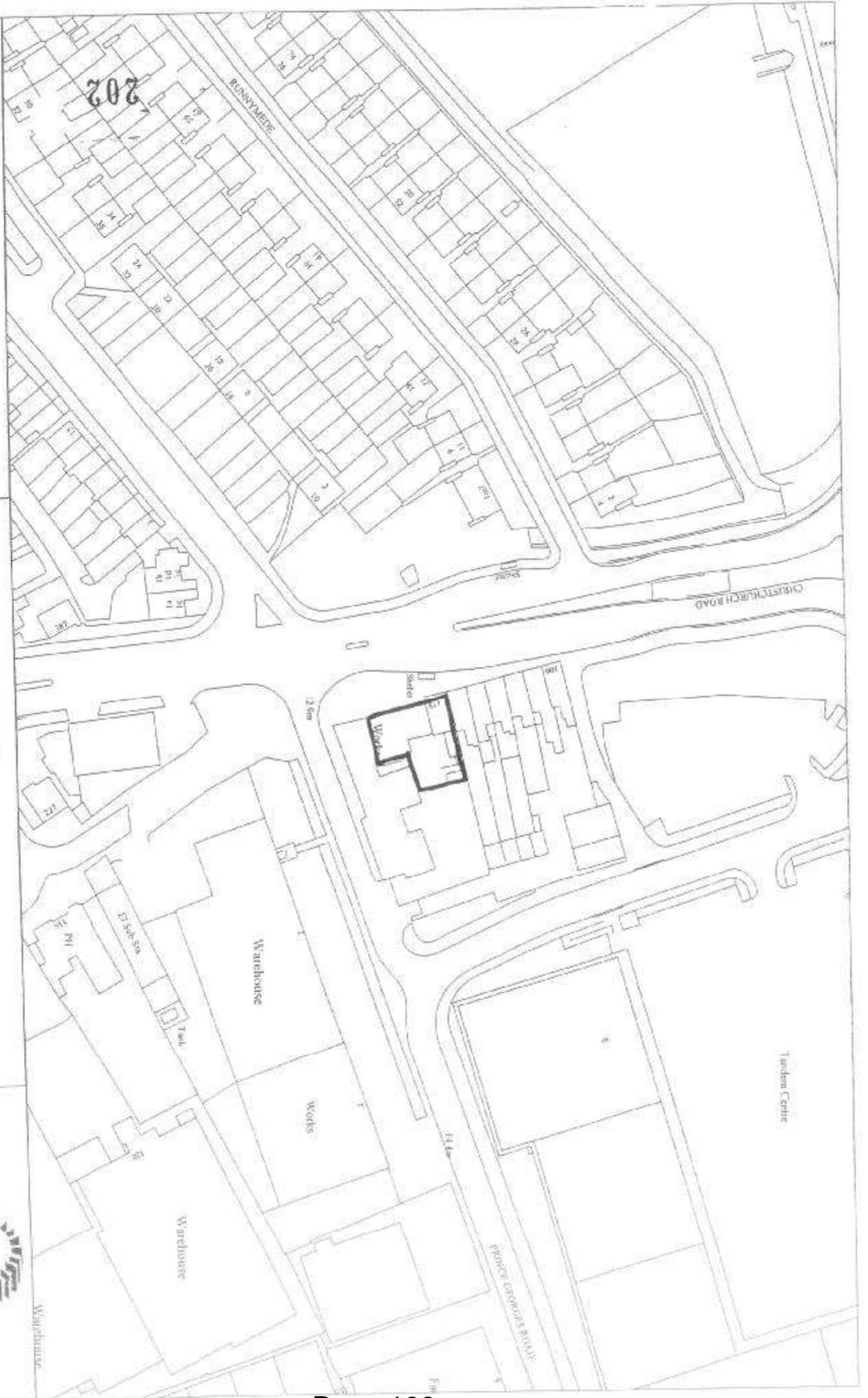
Scale 1:200 (at A1)

DATE OCT 2003



**PROPOSED SECTION A/A**  
**SCALE 1:200**

201



**LONDON BOROUGH OF MERTON**  
**Environmental Services Department**

City Centre, London Road, Morden, Surrey, SM4 5DX  
Telephone: 020 8543 2222 Web: www.merton.gov.uk

**118 CHRISTCHURCH ROAD**

Scale = 1:1250

Printed: 26/1/03



London Borough of Merton LA 086509

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