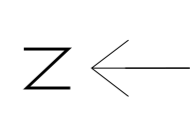
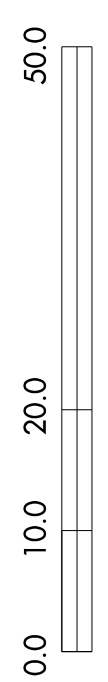


Existing information provided by client  
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 All dimensions, existing levels, drain runs and site conditions to be verified on site by contractor prior to construction, and any discrepancies made known  
 Re-routing of existing and running of new drainage to be to contractor's design  
 Drawings are for planning purposes only and are not issued for construction  
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Existing Site Plan	Drwg	0047_00_01
110 Gladstone Road, London, SW19 1QW	Scale	1:625 @ A1 1:1250 @ A3



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Existing information provided by client

All works to be in accordance with Current building regulations and to be read and construed in conjunction with a schedule of works document and structural engineer's information

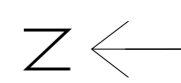
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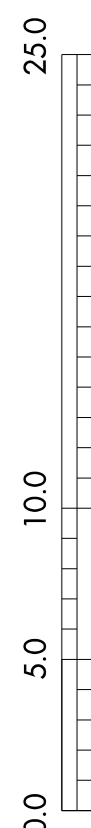


Existing Site Plan      Drwg      0047\_00\_01

110 Gladstone Road,  
London, SW19 1QW      Scale      1:250 @ A1  
1:500 @ A3

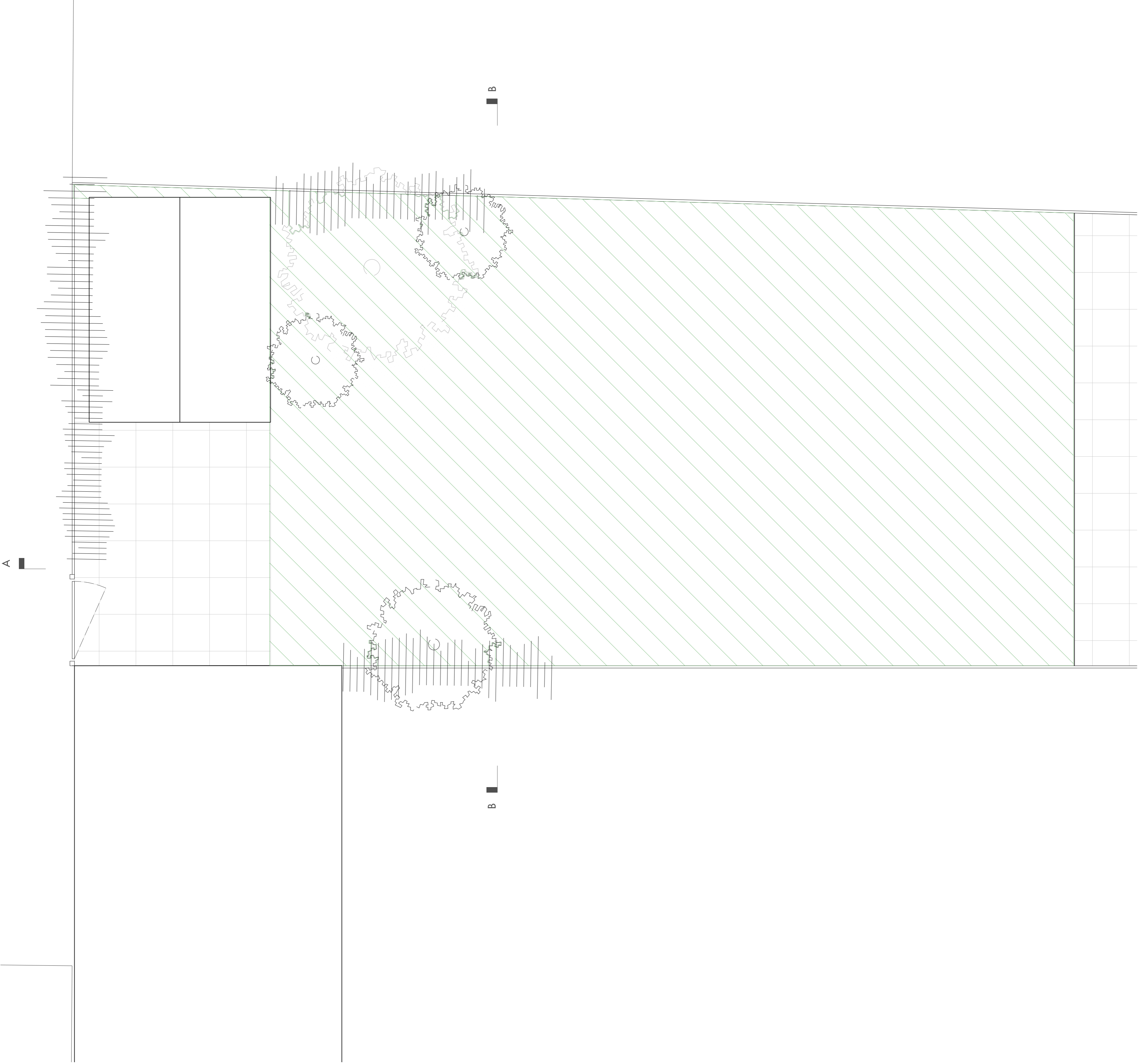
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Notes

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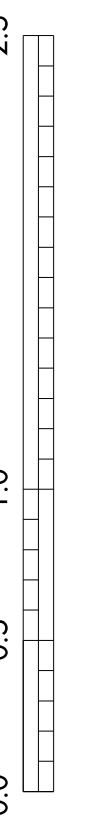


DENOTES EXTENT OF NEW WALLS  
 DENOTES LINE OF EXISTING PROPERTY



Existing Ground Floor Plan Drwg 0047\_00\_10  
 110 Gladstone Road,  
 London, SW19 1QW  
 Scale 1:25 @ A1  
 1:50 @ A3

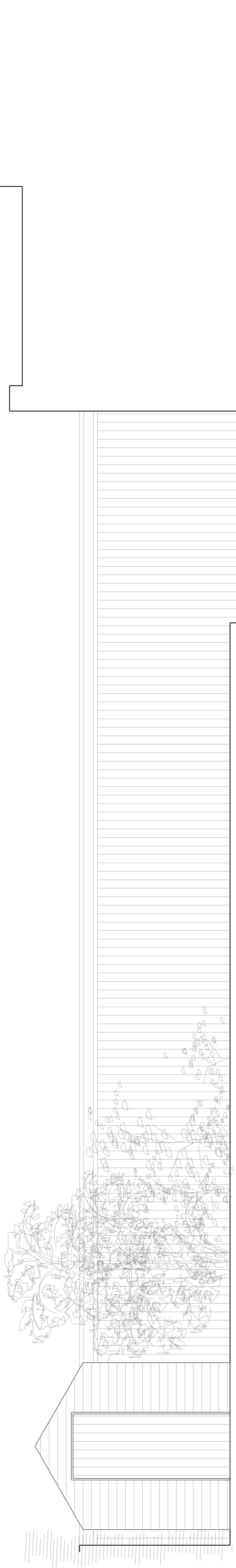
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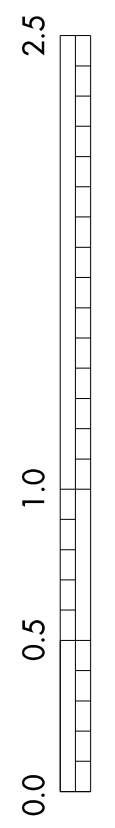
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8) 110 Gladstone Road

EXISTING PROPERTY NOT SURVEYED -  
 SHOWN INDICATIVELY

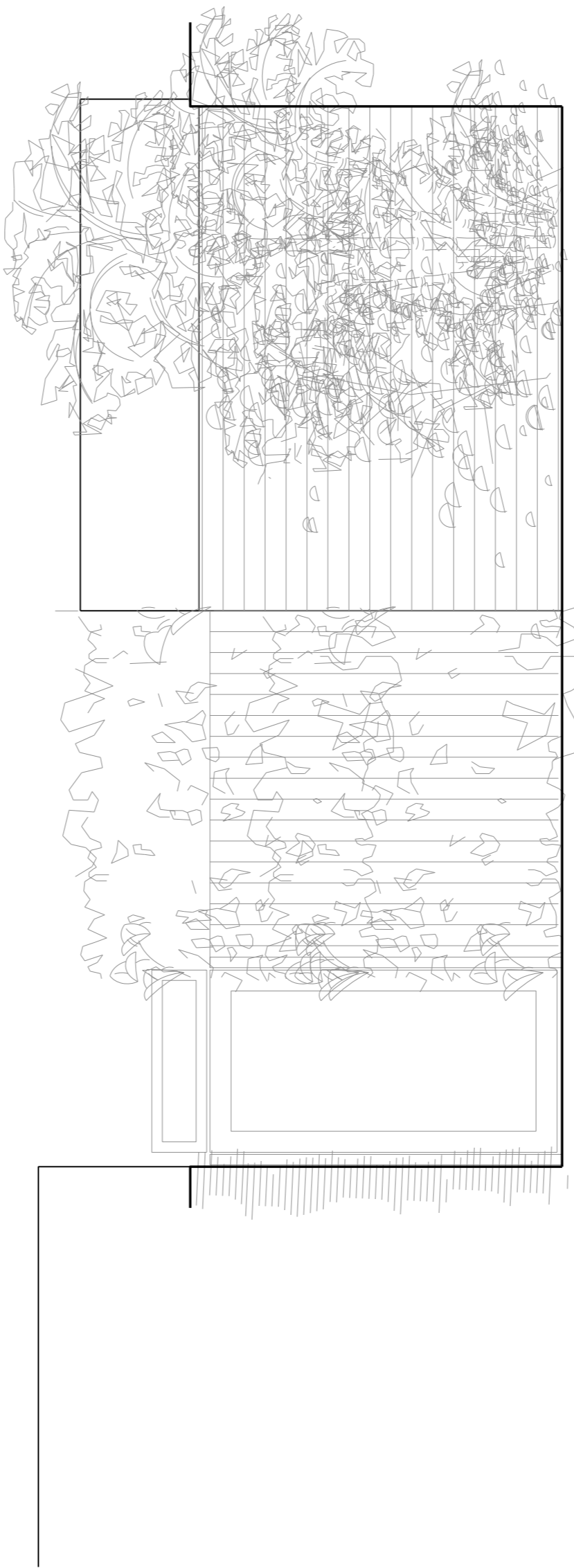


Existing Section A-A Drwg 0047\_00\_20  
 110 Gladstone Road,  
 London, SW19 1QW Scale 1:25 @ A1  
 1:50 @ A3



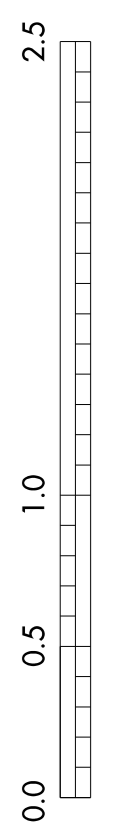
- Existing information provided by client
- All works to be in accordance with Current Building Regulations and to be Read and constructed in conjunction with a schedule of works document and structural engineer's information
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- All dimensions, existing levels, drain runs and site conditions to be verified on site by contractor prior to construction, and any discrepancies made known
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- Drawings are for planning purposes only and are not issued for construction

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8) 110 Gladstone Road

Existing Section B-B      Drwg      0047\_00\_21  
 110 Gladstone Road,  
 London, SW19 1QW      Scale      1:25 @ A1  
    1:50 @ A3



Existing information provided by client

All works to be in accordance with Current Building Regulations and to be Read and constructed in conjunction with a Schedule of works document and structural engineer's information

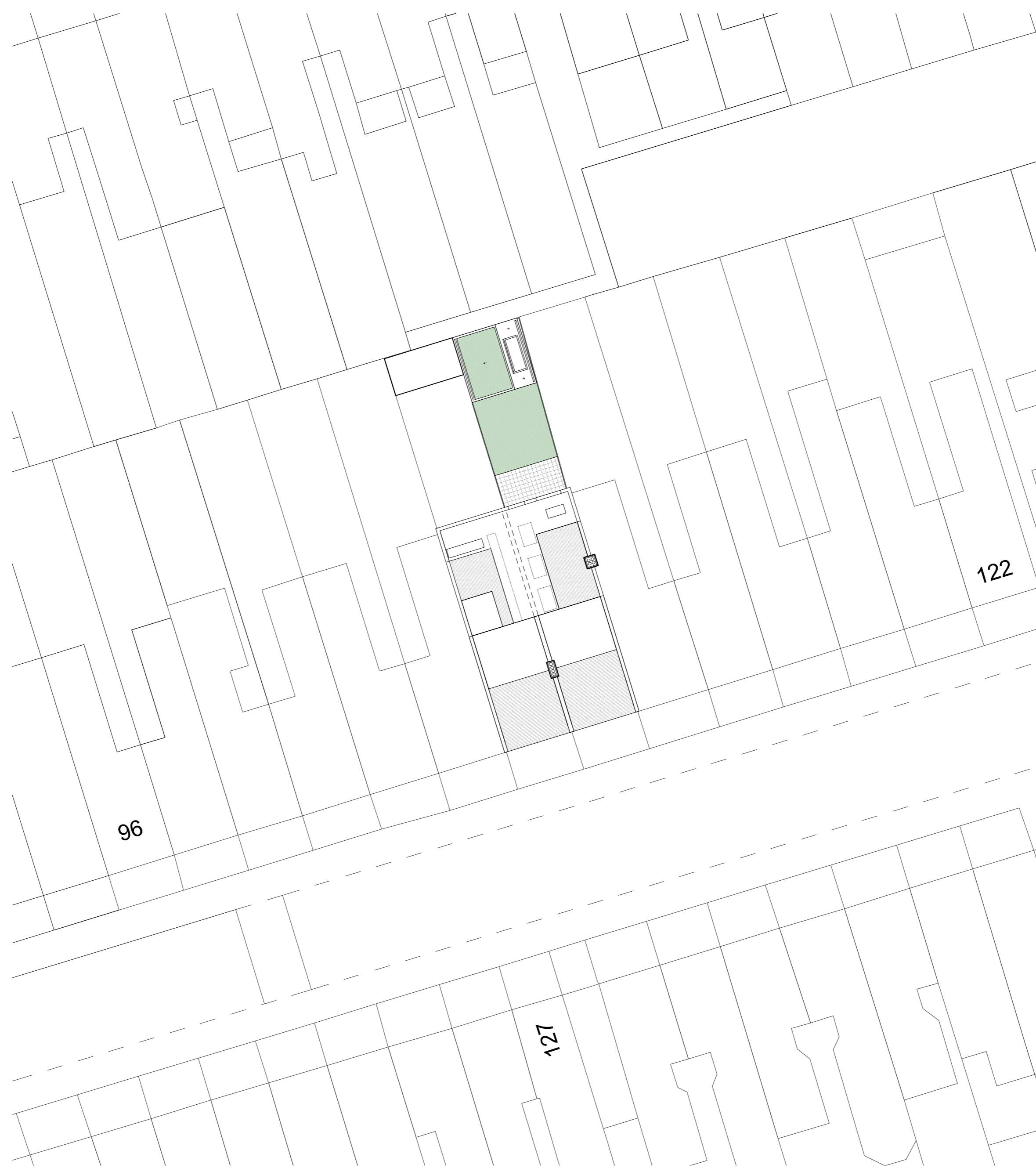
All demolition to be approved by structural engineer prior to commencement

All dimensions, existing levels, drain runs and site conditions to be verified on site by contractor prior to construction, and any discrepancies made known

Re-routing of existing and running of new drainage to be to contractor's design

Drawings are for planning purposes only and are not issued for construction

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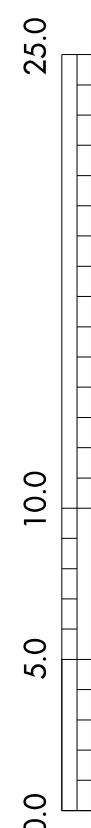


Proposed Site Plan      Drwg      0047\_21\_01

110 Gladstone Road,  
London, SW19 1QW      Scale      1:250 @ A1  
1:500 @ A3

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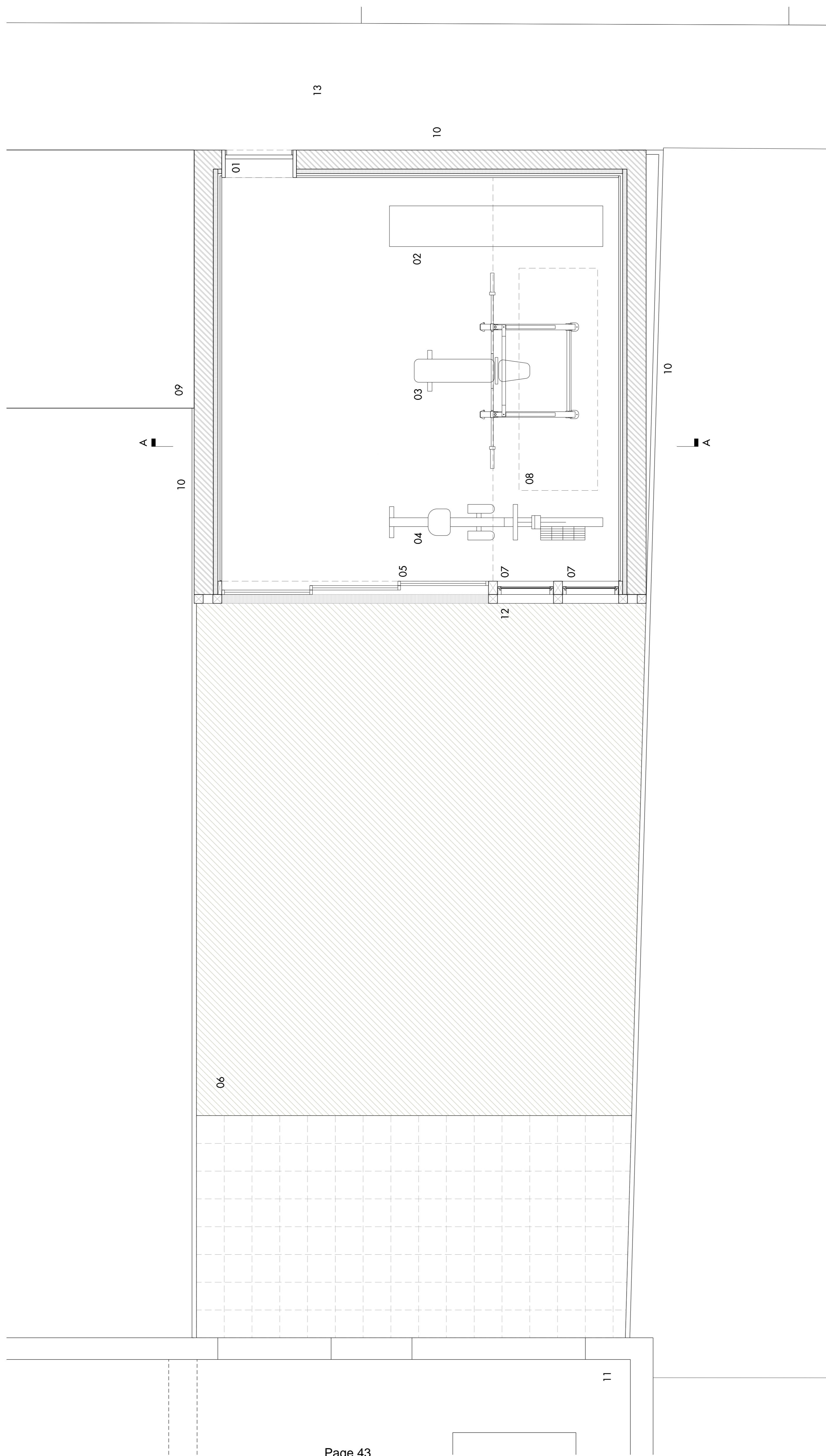


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Re-routing of existing and running of new drainage to be to contractor's design

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- 01 REAR ACCESS SECURITY DOOR TO MAINTAIN ACCESS TO REAR PATHWAY
- 02 INDICATIVE SPACE FOR CROSS TRAINER
- 03 INDICATIVE SPACE FOR SQUAT RACK
- 04 INDICATIVE SPACE FOR ROWING MACHINE
- 05 METAL FRAMED DOUBLE GLAZED SLIDING DOORS, ACO SLOT DRAIN TO THRESHOLD EXTERNALLY
- 06 GARDEN
- 07 GLAZED PANELS BETWEEN TREATED TIMBER STUDWORK TO STRUCTURAL ENGINEER'S DETAILS (ASSUME 150mm x 47mm), DECORATIVE 25mm x 100mm TREATED HORIZONTAL TIMBER FIN EXTERNALLY, AS STUDIO HATCHAM FRONT ELEVATION
- 08 NEW METAL FRAMED DOUBLE GLAZED ROOFLIGHT ABOVE EXISTING OUTBUILDING TO NEIGHBOURING PROPERTY
- 09 SIDE AND REAR WALLS OF OUTBUILDING TO BE PALE RENDERO . FENCE TO BE REINSTATED TO TAPERED BOUNDARY WITH 112 GLADSTONE ROAD FOLLOWING WORKS
- 10 LINE OF 110 GLADSTONE ROAD
- 11 FRONT ELEVATION OF OUTBUILDING TO BE CONSTRUCTED FROM TIMBER FRAMEWORK WITH INSET GLAZING, AS STUDIO HATCHAM FRONT ELEVATION
- 12 EXISTING OUTBUILDING TO REAR OF GARDEN
- 13 EXISTING PASSAGEWAY TO REAR OF GARDEN



DENOTES EXTENT OF NEW WALLS



DENOTES LINE OF EXISTING PROPERTY



N

Proposed Ground Floor Plan Drwg 0047\_21\_10

110 Gladstone Road,  
London, SW19 1QW Scale 1:25 @ A1  
1:50 @ A3

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Existing information provided by client

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All demolition to be approved by structural engineer prior to commencement

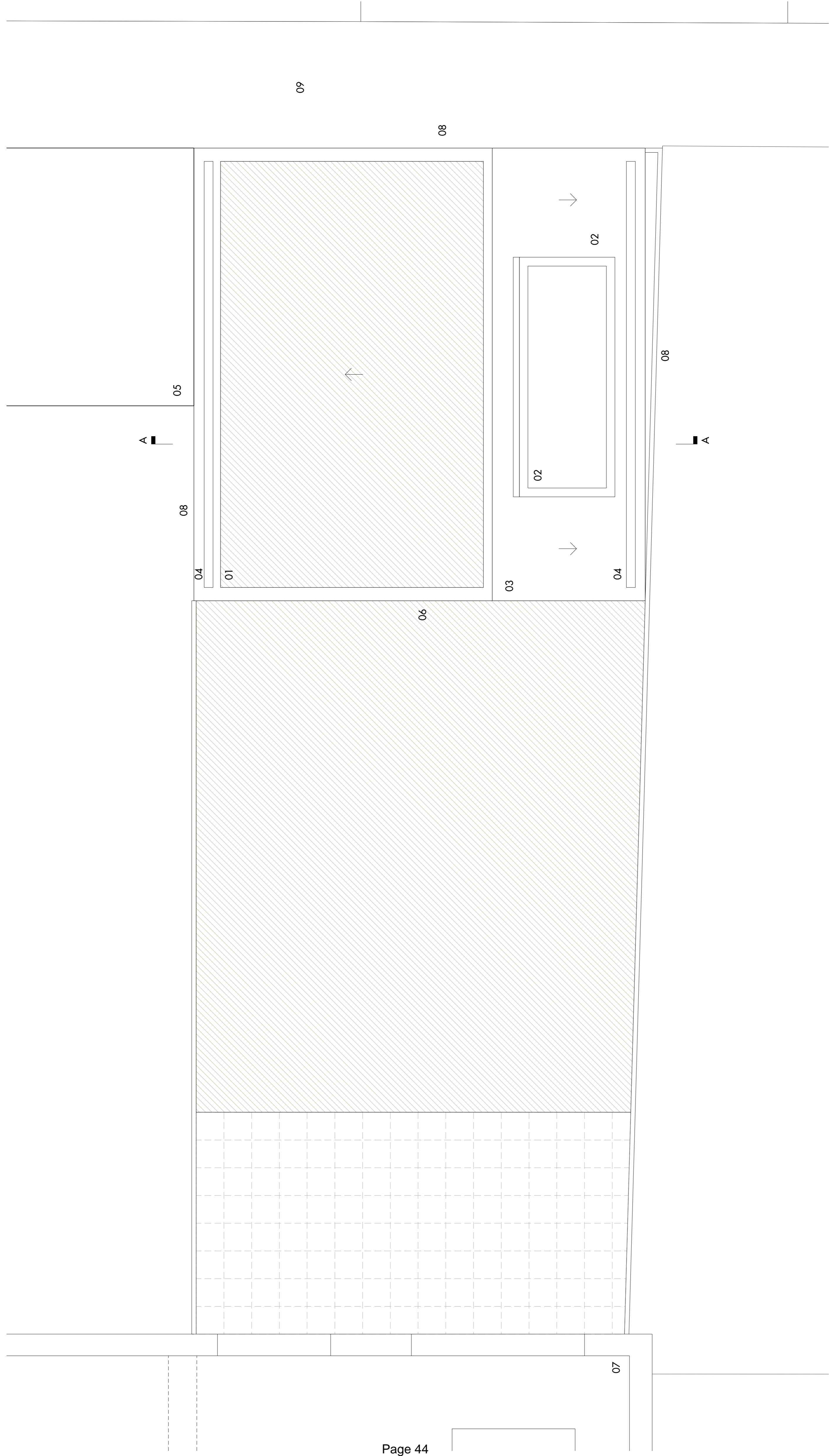
All dimensions, existing levels, drain runs and site conditions to be verified on site by contractor prior to construction, and any discrepancies made known

Re-routing of existing and running of new drainage to be to contractor's design

Drawings are for planning purposes only and are not issued for construction

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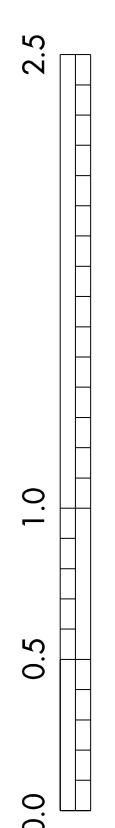
- 01 GREEN ROOF SYSTEM (BAULDER OR CARLSIE CONSTRUCTION SEDUM / WIDFLOVER BLANKET) DRAINAGE LAYER ATOP SINGLE PLY MEMBRANE TO UNDERSIDE OF GREEN ROOF SYSTEM, WITH INTERMEDIATE SUPPORTS TO ENSURE SEDUM/ WIDFLOVER BLANKET DOES NOT SAG (TO SUPPLIER'S DETAILS)
- 02 NEW METAL FRAMED DOUBLE GLAZED ROOFLIGHT
- 03 SINGLE-PLY MEMBRANE ROOF COVERING
- 04 INSET CONCEALED ALUMINIUM GUTTER TO FORM DRAINAGE CHANNEL AND TAKE RAINWATER RUNOFF FROM ROOF. SINGLE PLY MEMBRANE LAPPED TO DRAINAGE CHANNEL EXISTING OUTBUILDING TO NEIGHBOURING PROPERTY FROM ELEVATION TO OUTBUILDING TO BE CONSTRUCTED FROM TIMBER FRAMEWORK WITH INSET GLAZING, AS STUDIO HATCHAM FRONT ELEVATION
- 07 LINE OF 110 GLADSTONE ROAD
- 08 SIDE AND REAR WALLS OF OUTBUILDING TO BE PALE RENDERED WITH COLOURED FINISH TO MATCH EXISTING WORKS
- 09 EXISTING PASSAGEWAY TO REAR OF GARDEN

 DENOTES EXTENT OF NEW WALLS  
 DENOTES LINE OF EXISTING PROPERTY

Proposed Roof Plan      Drwg      0047\_21\_11

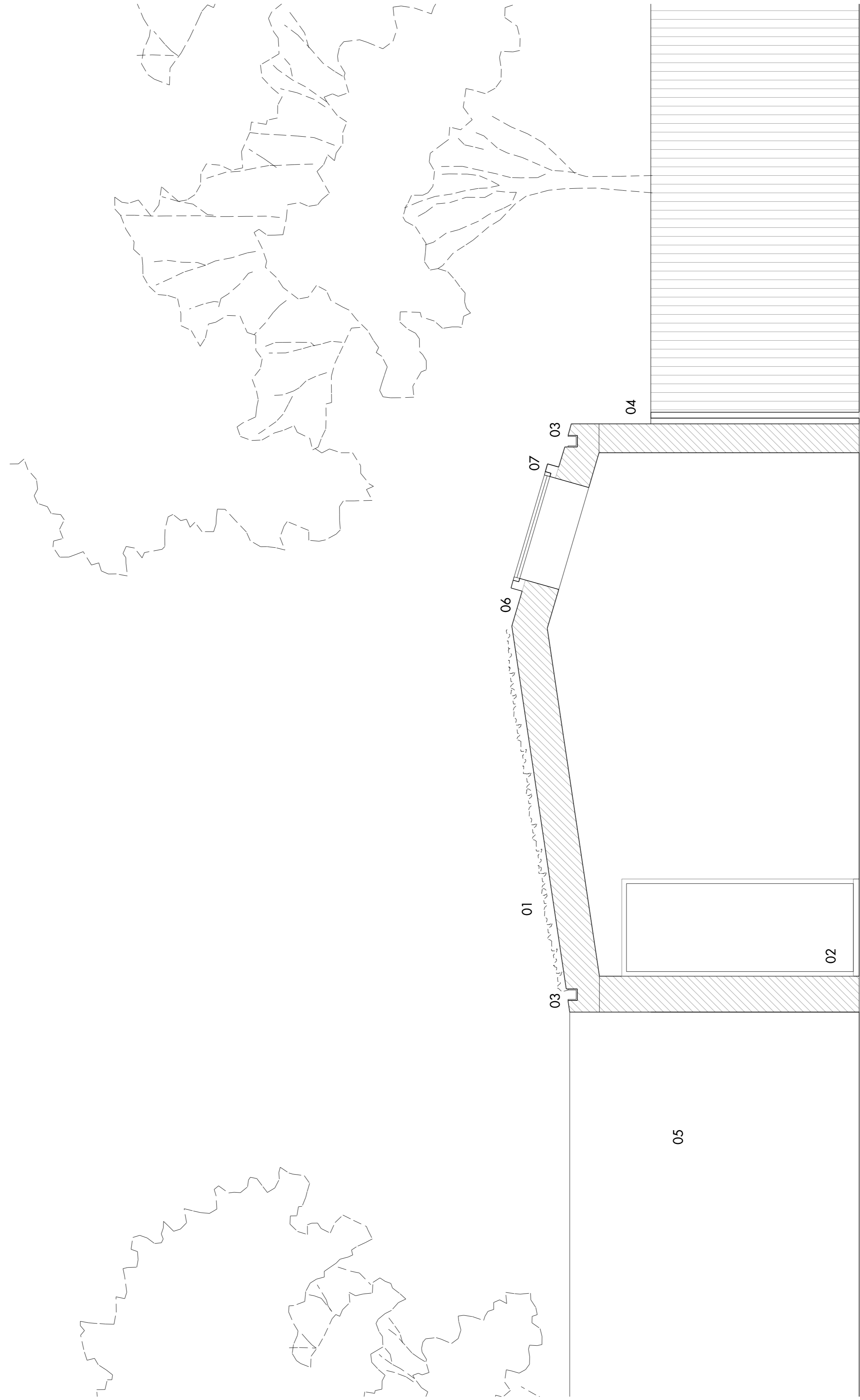
110 Gladstone Road,  
London, SW19 1QW      Scale      1:25 @ A1  
1:50 @ A3

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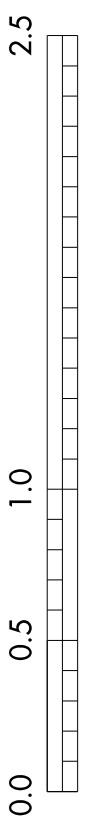
Existing information provided by client  
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 Re-routing of existing and running of new drainage to be to contractor's design  
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- 01 GREEN ROOF SYSTEM (BAUDER OR CARLISLE CONSTRUCTION SEDUM / WILDFLOWER BLANKET), DRAINAGE LAYER A TOP SINGLE PLY MEMBRANE TO UNDERSIDE OF GREEN ROOF SYSTEM, WITH INTERMEDIATE SUPPORTS TO ENSURE SEDUM / WILDFLOWER BLANKET DOES NOT SAG (TO SUPPLIER'S DETAILS)
- 02 REAR ACCESS SECURITY DOOR TO MAINTAIN ACCESS TO REAR
- 03 FABRYAN CEILING ALUMINIUM GUTTER TO FORM DRAINAGE CHANNEL AND TAKE RAINWATER RUNOFF FROM ROOF
- 04 SINGLE PLY MEMBRANE LAPPED TO DRAINAGE CHANNEL SIDE AND REAR WALLS OF OUTBUILDING TO BE PALE RENDERED FENCE TO BE REINSTATED TO TAPERED BOUNDARY WITH 112 GLADSTONE ROAD FOLLOWING WORKS
- 05 EXISTING OUTBUILDING TO NEIGHBOURING PROPERTY
- 06 SINGLE PLY MEMBRANE ROOF COVERING
- 07 NEW METAL FRAMED DOUBLE GLAZED ROOFLIGHT

DENOTES EXTENT OF NEW WALLS  
 DENOTES LINE OF EXISTING PROPERTY

**Proposed Section A-A** Drwg **0047\_21\_20**  
**110 Gladstone Road, London, SW19 1QW** Scale **1:25 @ A1**  
**1:50 @ A3**



Existing information provided by client

All works to be in accordance with Current building regulations and to be read and constructed in conjunction with a schedule of works document and structural engineer's information

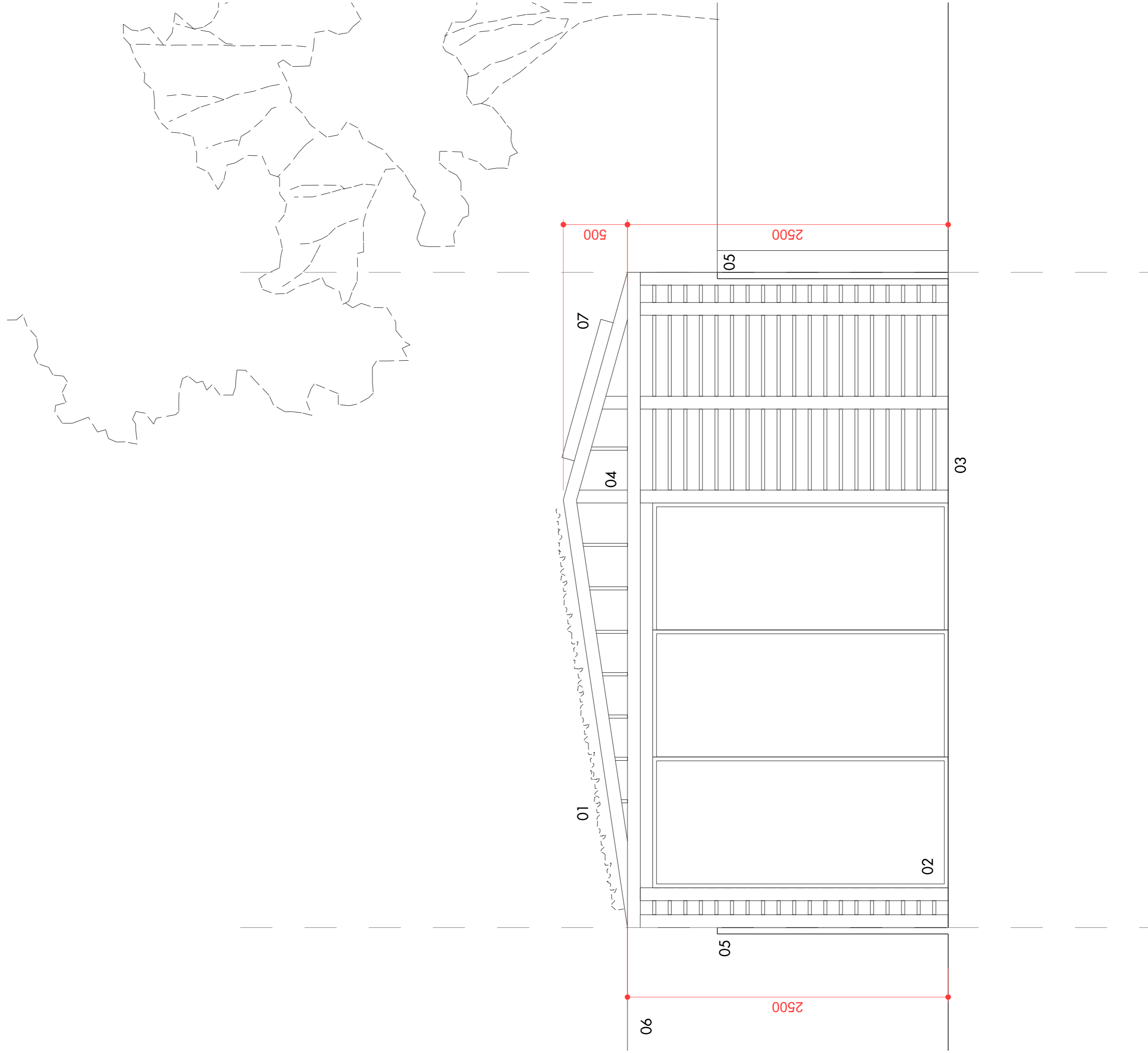
All demolition to be approved by structural engineer prior to commencement

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Re-routing of existing and running of new drainage to be to contractor's design

Drawings are for planning purposes only and are not issued for construction

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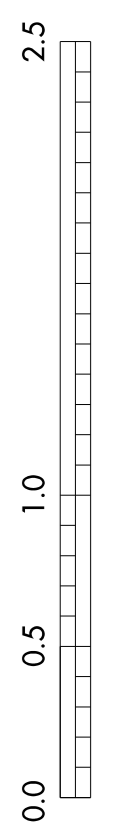
- 01 GREEN ROOF SYSTEM (BAUDER OR CARLISLE CONSTRUCTION SEDUM/ WILDFLOWER BLANKET). DRAINAGE LAYER ATOP SINGLE PLY MEMBRANE TO UNDERSIDE OF GREEN ROOF SYSTEM, WITH INTERMEDIATE SUPPORTS TO ENSURE SEDUM/ WILDFLOWER BLANKET DOES NOT SAG (TO SUPPLIER'S DETAILS). INSET CONCEALED GUTTER AS STUDIO HATCHAM ROOF PLAN
- 02 METAL FRAMED DOUBLE GLAZED SLIDING DOORS. ACO SLOT DRAIN TO THRESHOLD EXTERNALLY
- 03 FRONT ELEVATION TO OUTBUILDING TO BE CONSTRUCTED FROM TIMBER FRAMEWORK WITH INSET GLAZING, AS STUDIO HATCHAM FRONT ELEVATION
- 04 CLADDING TO BE TREATED TIMBER STUDWORK TO STRUCTURAL ENGINEER'S DETAILS (ASSUME 150mm x 47mm DECORATIVE 25mm<sup>2</sup> TREATED HORIZONTAL TIMBER FINISH EXTERNALLY, AS STUDIO HATCHAM FRONT ELEVATION
- 05 TIMBER FENCE
- 06 EXISTING OUTBUILDING TO NEIGHBOURING PROPERTY
- 07 ROOFLIGHT TO SOUTHERN ROOF SLOPE BEYOND. ROOF TO BE CLAD WITH SINGLE-PLY MEMBRANE ROOF COVERING WITH INSET CONCEALED GUTTER AS STUDIO HATCHAM ROOF PLAN

 DENOTES EXTENT OF NEW WALLS

 DENOTES LINE OF EXISTING PROPERTY

Proposed Front Elevation      Drwg      0047\_21\_30

110 Gladstone Road,  
London, SW19 1QW      Scale      1:25 @ A1  
1:50 @ A3



Existing information provided by client

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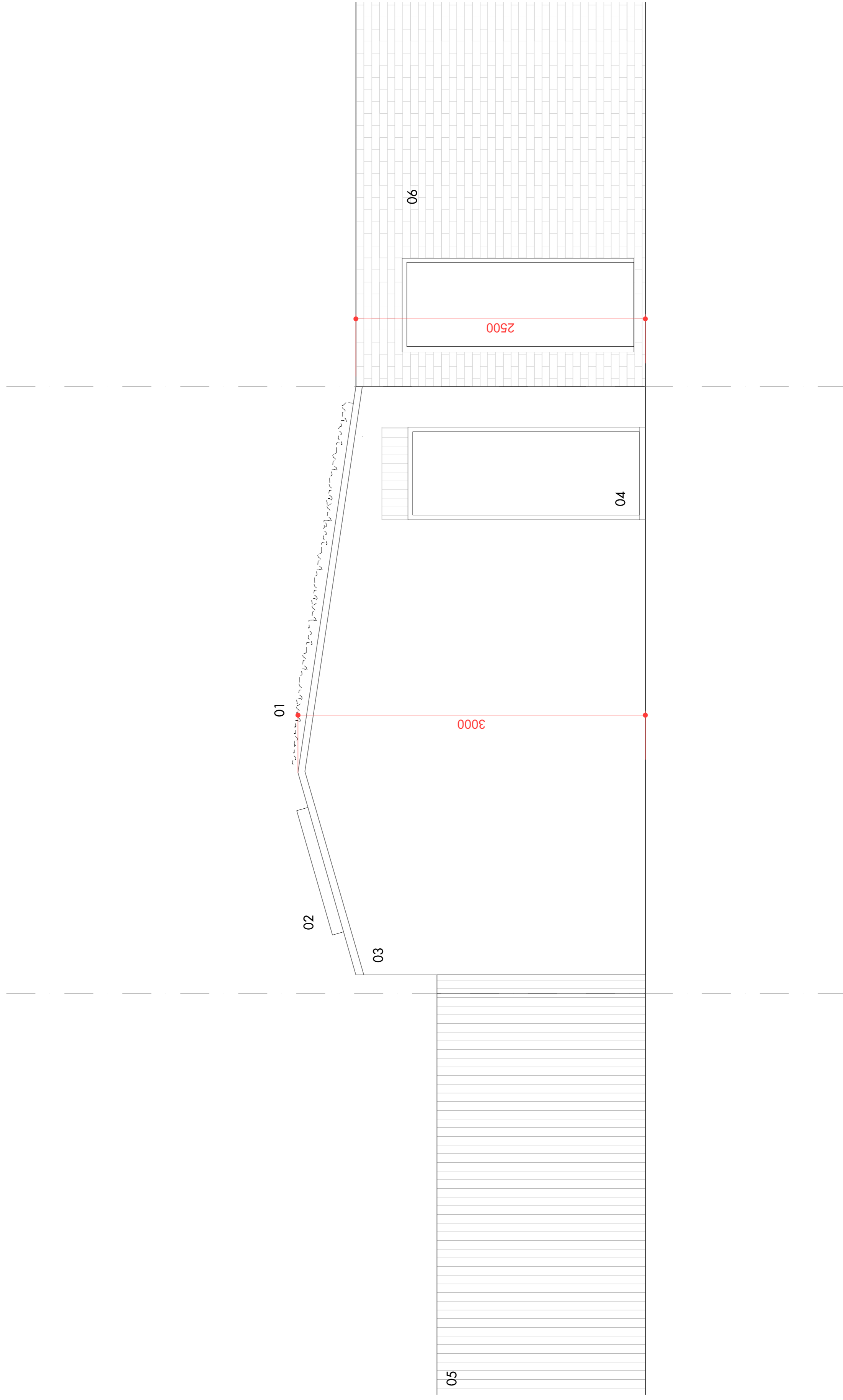
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Re-routing of existing and running of new drainage to be to contractor's design

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- 01 GREEN ROOF SYSTEM (BAUDER OR CARLISLE CONSTRUCTION SEDUM / WIDFLOWER BLANKET). DRAINAGE LAYER A TOP SINGLE PLY MEMBRANE TO UNDERSIDE OF GREEN ROOF SYSTEM, WITH INTERMEDIATE SUPPORTS TO ENSURE SEDUM/ WIDFLOWER BLANKET DOES NOT SAG (TO SUPPLIER'S DETAILS). INSET CONCEALED GUTTER AS STUDIO HATCHAM DETAILS.
- 02 ROOFLIGHTS TO SOUTHERN ROOF SLOPE BEYOND ROOF TO BE CLAD WITH SINGLE PLY MEMBRANE ROOF COVERING WITH INSET CONCEALED GUTTER AS STUDIO HATCHAM ROOF PLAN REAR AND SIDE ELEVATIONS OF OUTBUILDING TO BE PALE RENDEROED
- 03 REAR ACCESS SECURITY DOOR TO MAINTAIN ACCESS TO REAR PATHWAY AS OUTBUILDING TO 112 GLADSTONE ROAD
- 04 TIMBER FENCE
- 05 EXISTING OUTBUILDING TO NEIGHBOURING PROPERTY

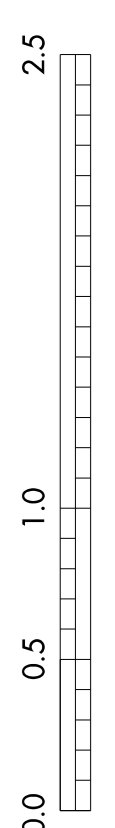
 DENOTES EXTENT OF NEW WALLS

 DENOTES LINE OF EXISTING PROPERTY

Proposed Rear Elevation      Drwg      0047\_21\_31

110 Gladstone Road,  
London, SW19 1QW      Scale      1:25 @ A1  
1:50 @ A3

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Existing information provided by client

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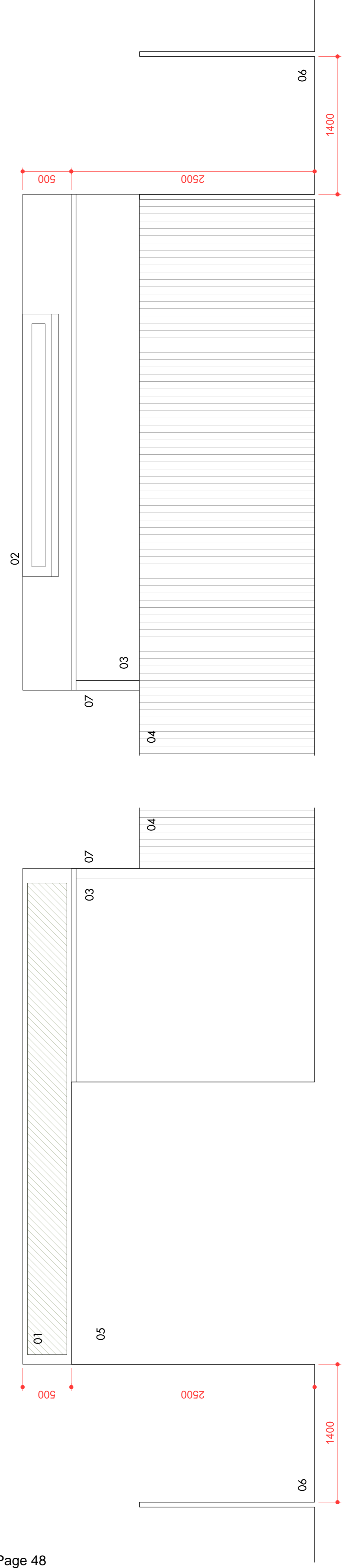
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Re-routing of existing and running of new drainage to be to contractor's design

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- 01 GREEN ROOF SYSTEM (BAUDER OR CARLISE CONSTRUCTION SEDUM/ WILDFLOWER BLANKET). DRAINAGE LAYER ATOP SINGLE PLY MEMBRANE TO UNDERSIDE OF GREEN ROOF SYSTEM, WITH INTERMEDIATE SUPPORTS TO ENSURE SEDUM/ WILDFLOWER BLANKET DOES NOT SAG (TO SUPPLIER'S DETAILS). INSET CONCEALED GUTTER AS STUDIO HATCHAM ROOF PLAN
- 02 ROOFLIGHTS TO SOUTHERN ROOF SLOPE BEYOND ROOF TO BE LAD WITH SINGLE-PLY MEMBRANE ROOF COVERING WITH BEAD AND GUTTER. CONSIDERATION OF OUTBUILDING TO BE MADE. PENETRATION TO BE REINFORCED TO TYPICAL BOUNDARY WITH 112 GLADSTONE ROAD FOLLOWING WORKS
- 03 TIMBER FENCE
- 04 EXISTING OUTBUILDING TO NEIGHBOURING PROPERTY EXISTING SHARED PASSAGE TO REAR OF GARDEN
- 06 FRONT ELEVATION OF OUTBUILDING TO BE CONSTRUCTED FROM TIMBER FRAMEWORK WITH INSET GLAZING, AS STUDIO HATCHAM FRONT ELEVATION

DENOTES EXTENT OF NEW WALLS

DENOTES LINE OF EXISTING PROPERTY

Proposed Side Elevations      Drwg      0047\_21\_32

110 Gladstone Road,  
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1:50 @ A3

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