

PLANNING APPLICATIONS COMMITTEE
7 November 2013

Item No:

UPRN

APPLICATION NO.

DATE VALID

13/P0543

Address/Site 14 Marryat Road, Wimbledon SW19 5BD

(Ward) Village

Proposal: Erection of swimming pool pavilion building with basement, construction of underground link between swimming pool pavilion and existing house beneath garden and pathway connecting with part basement under existing house and garden and installation of condensers for ventilation system.

Drawing Nos P010, P106, W135, W136, P133, TMC-11028-L C, W350 and Design and Access Statement

Contact Officer: Richard Allen (8545 3621)

RECOMMENDATION

GRANT Planning Permission subject to conditions

CHECKLIST INFORMATION

- Heads of agreement: No
- Is a screening opinion required: No
- Is an Environmental impact statement required: No
- Has an Environmental Impact Assessment been submitted: No
- Press notice-Yes
- Site notice-Yes
- Design Review Panel consulted-No
- Number neighbours consulted -11
- External consultants: None
- Density: n/a
- Number of jobs created: n/a
- Archaeology Priority Zone:

1. INTRODUCTION

- 1.1 This application has been brought to the Planning Applications Committee due to the number of objections received.

2. SITE AND SURROUNDINGS

- 2.1 The application site comprises a large detached house situated on the southeast side of Marryat Road. The application property is a locally listed building. To the rear of the site is the rear elevation and garden of 5 Rushmere Place that is at a higher ground level than the application site. The application site is within the Merton (Wimbledon North) Conservation Area.

3. CURRENT PROPOSAL

- 3.1 Planning permission was granted in February 2012 (LBM Ref.12/P0066) for the erection of a swimming pool pavilion building within the rear garden of 14 Marryat Road. The current application seeks revisions to the previous approval involving the construction of underground link between a swimming pool pavilion building and existing house, the construction of a part basement beneath existing house and construction of a terrace and basement beneath existing house and construction of a basement beneath garden and pathway and installation of condenser ventilation system.
- 3.2 The underground link between the existing house and the pool pavilion would be 27 metres in length and 3.5 metres in width. The underground link would have an internal height of 2.6 metres. A pathway from the house to the pool pavilion would be constructed above the underground link and grass reinstated above.
- 3.3 The pool pavilion building would be 17.5 metres in width and 5.8 metres in length. The pool building would have a curved roof with an eaves height of 2.4 metres and an overall height of 3.5 metres. The pool house would have a contemporary design with a glazed front elevation and brick side and rear elevations.

4. PLANNING HISTORY

- 4.1 In May 1996 Planning Permission and Conservation Area Consent was granted for demolition of front boundary wall, entrance porch and chimney stack and erection of single storey rear extension, replacement portico, new windows and formation of in/out driveway (LBM Refs.96/P0282 and 96/P0283).
- 4.2 In February 2011 planning permission was refused for the erection of a swimming pool pavilion in rear garden, increasing the width of two dormer windows at the side and front of the house, increasing height of front boundary wall, installation of glazed enclosure to front entrance, installation of

metal gates, replacement of existing UPVC windows with timber windows and replacement of existing rear window with timber doors (LBM Ref.10/P3139). Planning permission was refused on the ground that the enclosure of the porch and height of the wall would be detrimental to the character and appearance of the locally listed building and that the pool building was of excessive height.

- 4.3 In July 2011 planning permission was granted under delegated powers for the erection of a swimming pool pavilion in the rear garden, widening of two existing dormer windows at the side and front of the house, increase in height of the front boundary wall, glazed enclosure of existing portico, installation of metal car gates and entrance gate, replacement of existing UPVC windows at the side and rear with timber windows and replacement of existing window at the rear with new timber doors (LBM Ref.11/P2822).
- 4.4 In October 2011 conditions 7 and 8 of LBM planning permission 11/P1530 was discharged (LBM Ref.11/P2822).
- 4.5 In November 2011 an application for a non-material amendment to LBM planning permission Ref.11/P1530 was granted in respect of revisions to windows (LBM Ref.11/P2821).
- 4.6 In February 2012 planning permission was granted for the construction of a swimming pool pavilion in the rear garden (LBM Ref.12/P0066).
- 4.7 In August 2012 an application for a non-material amendment was granted in respect of LBM planning permission 11/P1530 in respect of revisions to design and size of dormer windows (LBM Ref.12/P1515).

5. **CONSULTATION**

- 5.1 The application has been advertised by site notice procedure and letters of notification to occupiers of neighbouring properties. In response 11 letters of objection have been received. The grounds of objection are set out below:-

Noise

- Plans show ventilation system fresh air intakes and condensers at regular intervals alongside boundary wall between 14 and 16 – likely to cause noise and amenity disruption to rear garden of 16 and other rear gardens, will be extremely intrusive, permission should be based on no noise impact from any aspect of the basement within neighbouring gardens, noise report is focussed on noise at adjoining properties, appears to take into account ambient traffic noise when there generally is none

Size/ Impact of Construction on Stability and Hydrology

-The proposal is excessive in the context of the plot, basement should be restricted to a size more in keeping with the existing house.
-Given the scale of the project and volume of excavation, the failure to provide a basement impact assessment, site specific ground investigation report and construction method statement is unacceptable

submitted arboricultural method statement and tree report. However, submitted drawing number W350 does not provide any information relating to the technical specification for the soil levels i.e. the lawn area above the basement.

6. **POLICY CONTEXT**

6.1 The relevant policies contained within the Adopted Merton Core Strategy (July 2011) are CS13 (Open Space, Nature Conservation, Leisure and Culture) and CS14 (Design).

6.2 The retained policies contained within the Adopted UDP (October 2003) are NE.11 (Trees-Protections), BE.1 (Conservation Areas; New Development; Change of Use, Alterations and Extensions), BE.11 (Local List; Rehabilitation and Maintenance), BE.15 (New Buildings and Extensions, Daylight, Sunlight, Privacy, Visual Intrusion and Noise) and PE.2 (Pollution and Amenity).

6.2 The London Plan (July 2011)

The relevant policy within the London Plan is 7.21 (Trees and Woodlands).

7. **PLANNING CONSIDERATIONS**

7.1 It should be noted that planning permission has previously been approved for the construction of a swimming pool pavilion building at the rear of the garden under LBM planning permission ref.11/P2822 (dated 6 October 2011) and that this is an extant planning permission. Therefore the main planning considerations relate to the impact of further basement construction including the underground link between the house and the pool pavilion upon neighbour amenity, trees and the conservation area.

7.2 Neighbour Amenity

The concerns of the objectors are noted. However, the pool pavilion building has previously been approved by LBM planning permission Ref.12/P0066 (dated 16 February 2012) and there is therefore an extant planning permission for the pool pavilion. The main neighbour amenity issue would therefore concern potential noise and nuisance during construction of the basement beneath the house and garden and potential noise from plant and equipment associated with the swimming pool. However, planning conditions can be imposed to restrict hours of construction and to limit the background noise level of any plant or equipment. The proposal would therefore be acceptable in terms of retained UDP policies BE.15 and PE.2

7.3 Trees

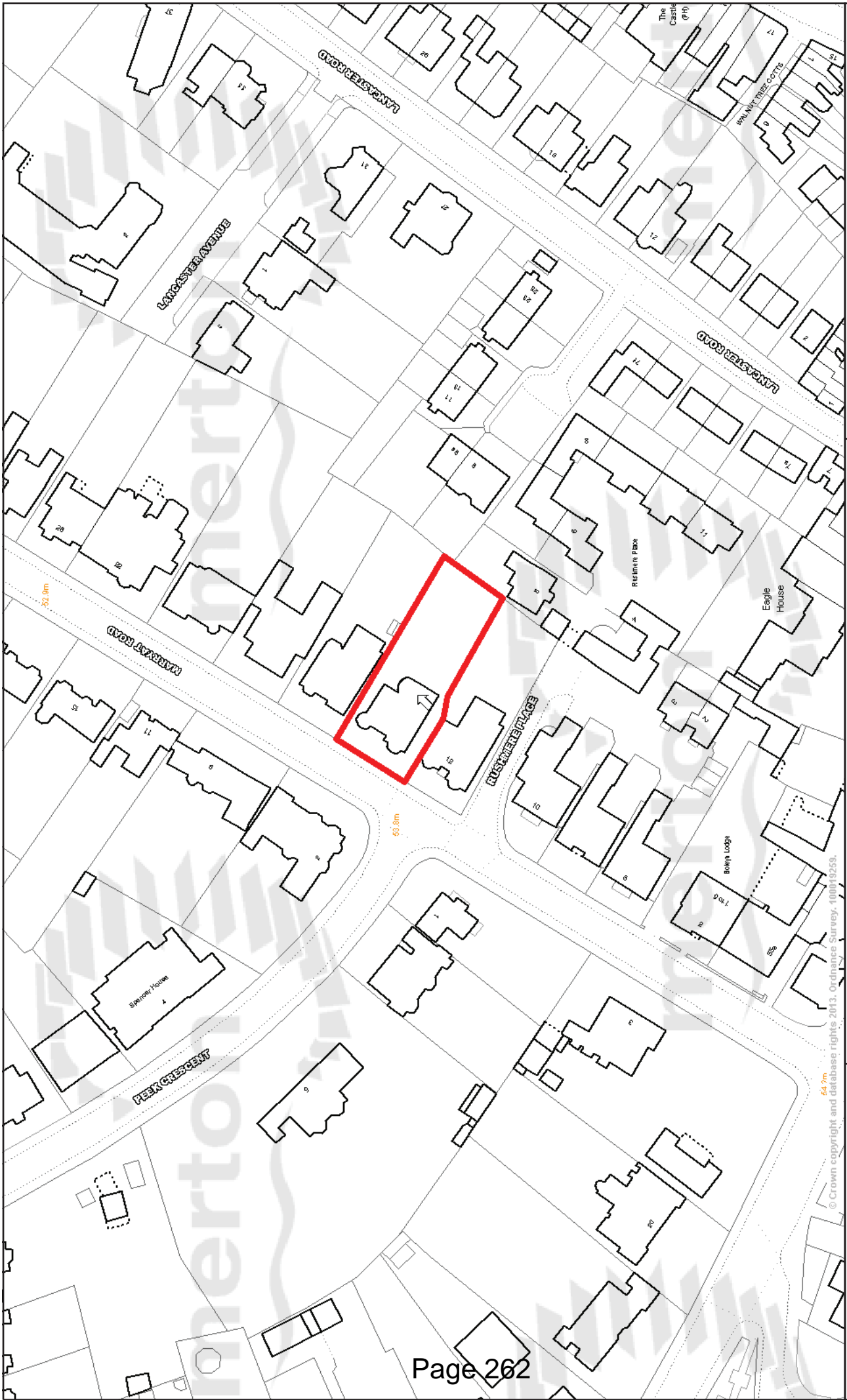
The Council's tree officer has confirmed that the proposal is acceptable subject to tree protection and landscaping conditions being imposed on any grant of planning permission. The proposal is therefore acceptable in terms of retained UDP policy HE.11.

Reason for condition: To protect and safeguard the existing retained trees in accordance with retained policy NE.11 of the Merton UDP (October 2003).

8. The height of the flat roof section of the pool building hereby approved shall be constructed 1.1 metres below the height of the retained boundary wall between the application site and 5 Rushmere Place.

Reason for condition: To protect the amenities of the conservation area and to comply with retained Merton UDP policies BE.1 and BE.15.

9. Informative
Any development involving the provision of a swimming pool with a volume exceeding 10 cubic metres of water will need metering. The applicant should contact Thames Water on 0845 9200 800.



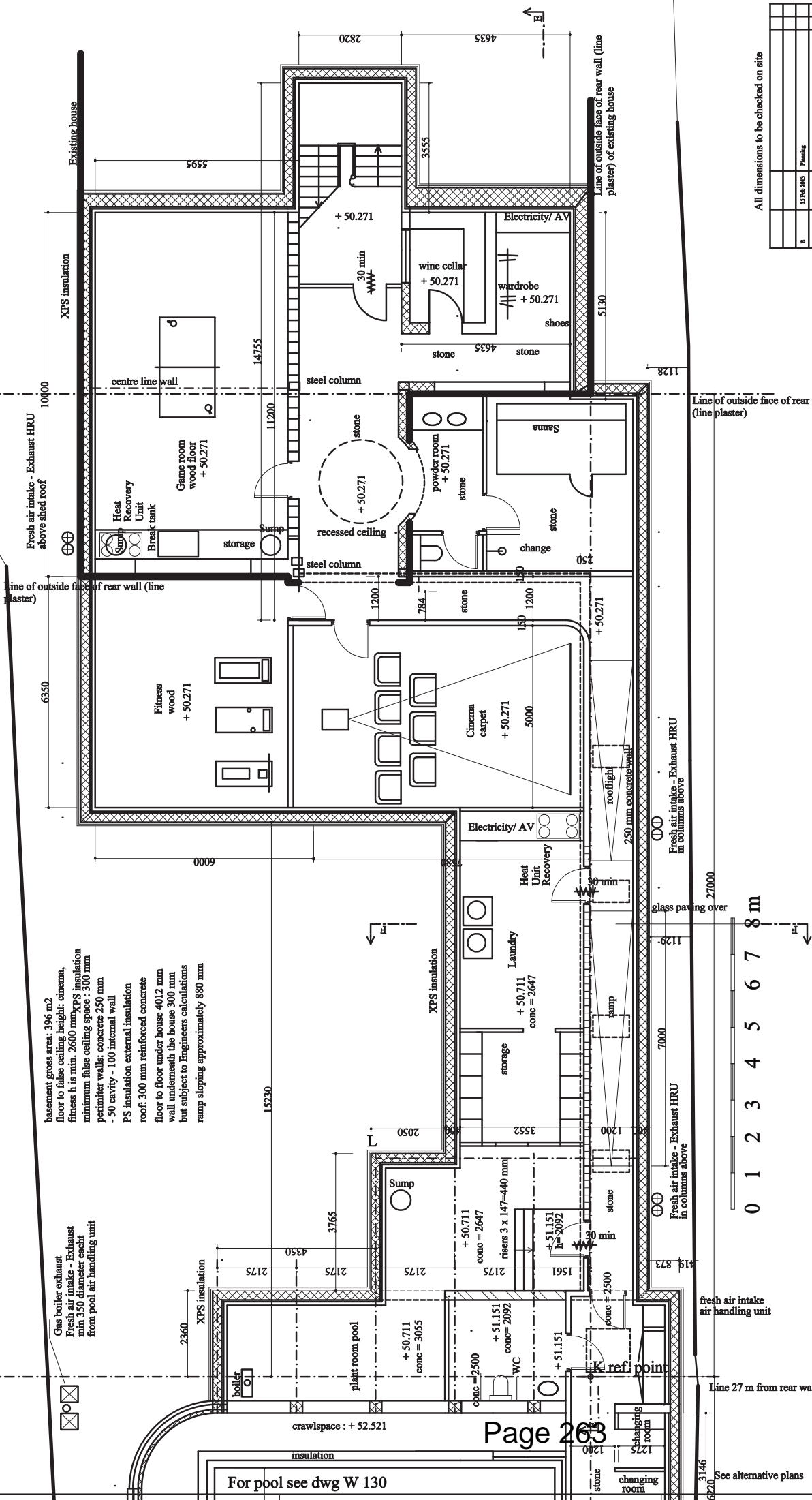
London Borough of Merton
 100 London Road
 Morden
 Surrey
 SM4 5DX

Scale 1/1250
 Date 4/6/2013

14 Marrayat Road

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DEVELOPMENT CONTROL



basement gross area: 396 m²
 floor to false ceiling height: cinema, fitness is 2.600 mm XPS insulation minimum false ceiling space: 300 mm perimeter walls: concrete 250 mm - 50 cavity - 100 internal wall
 PS insulation external insulation roof: 300 mm reinforced concrete floor to floor under house 4012 mm wall underneath the house 300 mm but subject to Engineers calculations ramp sloping approximately 880 mm

Gas boiler exhaust
 Fresh air intake - Exhaust HRU from pool air handling unit

For pool see dwg W 130

See alternative plans

For pool see dwg W 130

All dimensions to be checked on site

Revisions:	Date:
A	17 December
B	31 Jan 2013
D	6 Feb 2013
B	15 Feb 2013

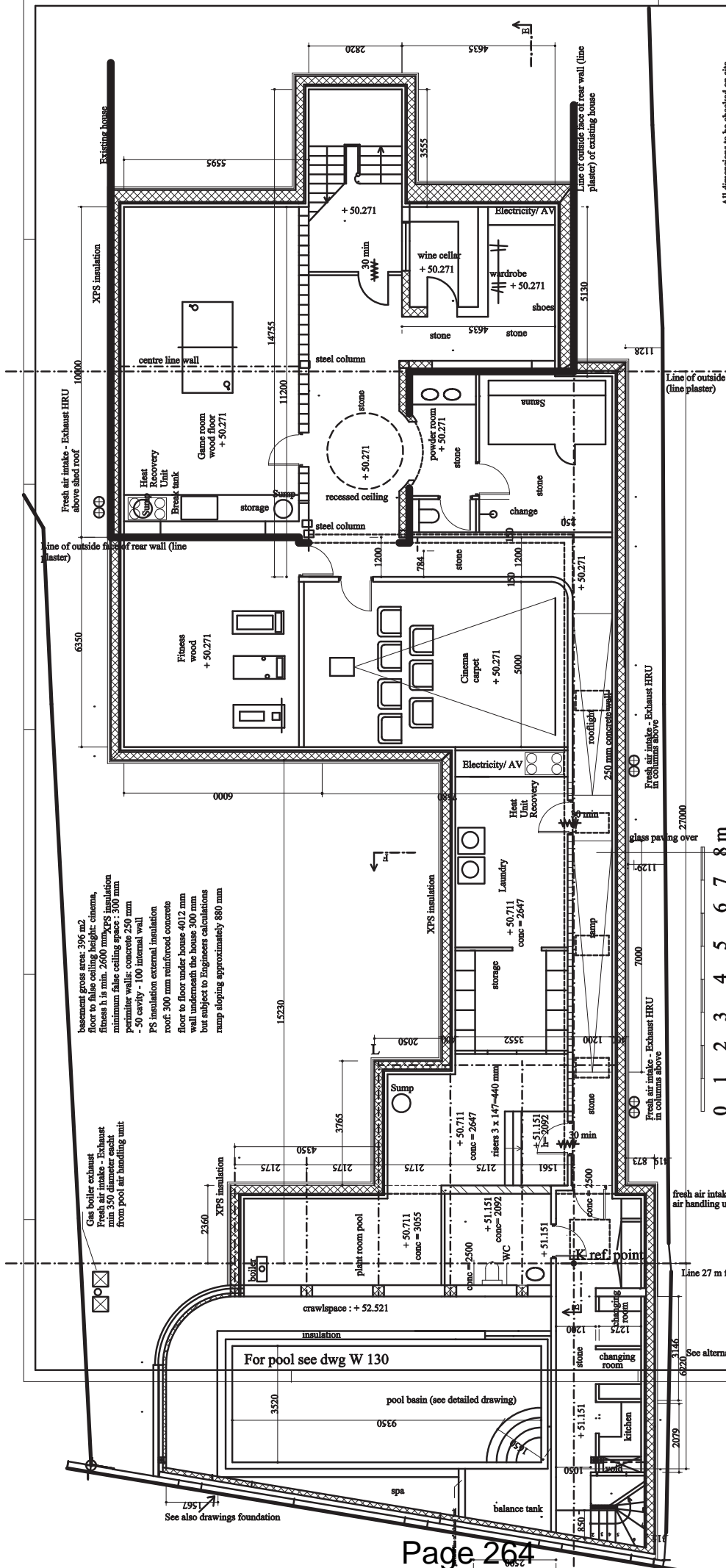
Checked	Chris
Drawn	Simply Architects / Chica
Project	Marrat Road
Subject	As proposed Plan
Drawing	Basement Plan
Scale:	1:50
Drawing Title:	Basement Plan
Project number:	Drawing number: P 133

For all bathrooms, joinery, doors, windows, lighting, all AV, please refer to specific drawings and related schedules to each of these

- FR 30 min Fire rating, self closing door
- ⊙ Ceiling mounted speaker
- △ Small speaker
- ⊠ Sub Woofer
- ⊗ Ceiling lights - spots
- ⊕ Wall mounted light
- ⊞ Table light
- ⊟ Full alarm
- HRU Hear Recovery Unit
- see detailed drawing W 301 latest revision (larger scale drawings prevail)
- change
- intel
- switch
- double socket

CO and Gas warning
 Smoke alarm to main electrical network

0 1 2 3 4 5 6 7 8 m



basement gross area: 396 m²
 floor to false ceiling height: cinema,
 fitness is 1.5m, 2.600 mm, XPS insulation
 minimum false ceiling space: 300 mm
 perimeter walls: concrete 250 mm
 -50 cavity - 100 internal wall
 PS insulation external insulation
 roof: 300 mm reinforced concrete
 floor to floor under house 4012 mm
 wall underneath the house 300 mm
 but subject to Engineers calculations
 ramp sloping approximately 880 mm

Gas boiler exhaust
 Fresh air intake, Exhaust
 min 350 diameter each
 from pool air handling unit

For pool see dwg W 130

Rev	Date	Description
1	12.06.2013	Issued
2	12.06.2013	Revised
3	12.06.2013	Approved
4	12.06.2013	Final

Drawn	Checked	Scale
Drawn	Checked	Scale

Project	Simply Architects / Chile
Author	Maryset Road
Designer	Basement Plan
Scale	1:100
Date	12.06.2013
Project number	0153

Simply Architects

- For all bedrooms, joinery, doors, windows, lighting, all AV, please refer to specific drawings and related schedules to each of these
- ◆ FR 30 min Fire rating, self closing door
 - Ceiling mounted speaker
 - ▲ Small speaker
 - ◇ Sub Woofer
 - Ceiling lights - spots
 - Wall mounted light
 - Track light
 - Full alarm
 - CO and Gas warning
 - Smoke alarm to main electrical network
- HRU Hear Recovery Unit
 - see detailed drawing W 301, latest revision (larger scale drawings prevail)
 - change
 - limit
 - switch
 - double socket

NOT TO SCALE

All dimensions to be checked on site

Line of outside face of rear wall (line plaster)

Line of outside face of rear wall (line plaster)

fresh air intake - Exhaust HRU in columns above

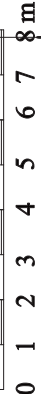
fresh air intake - Exhaust HRU in columns above

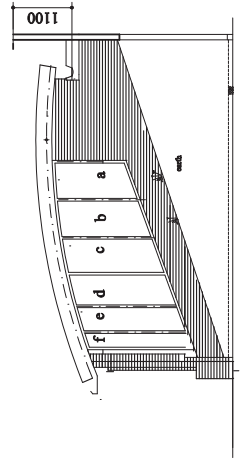
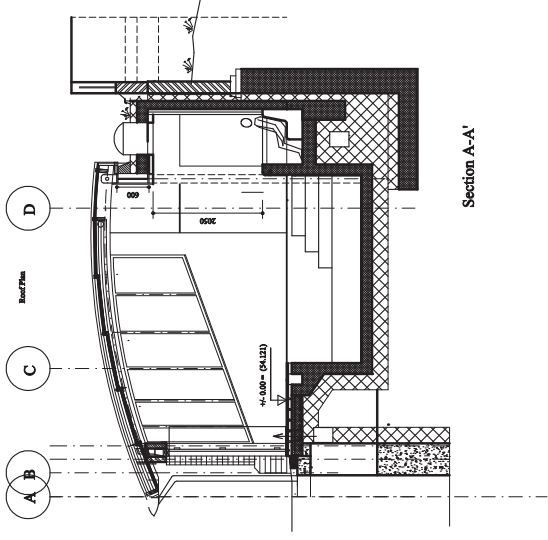
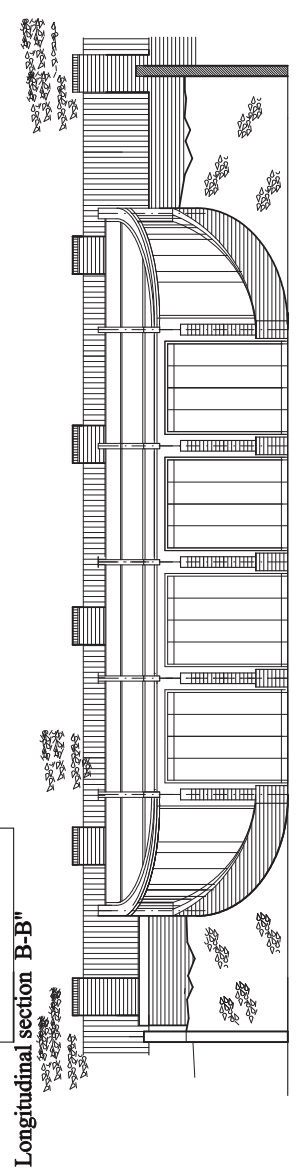
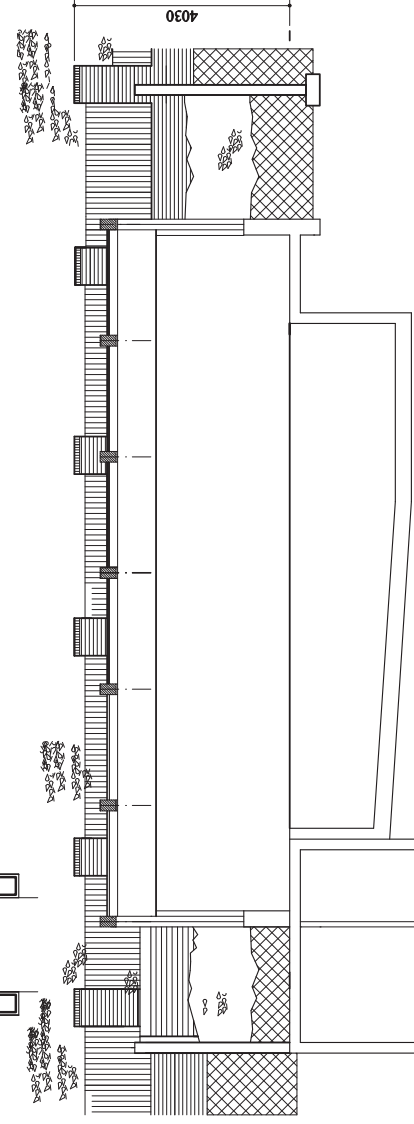
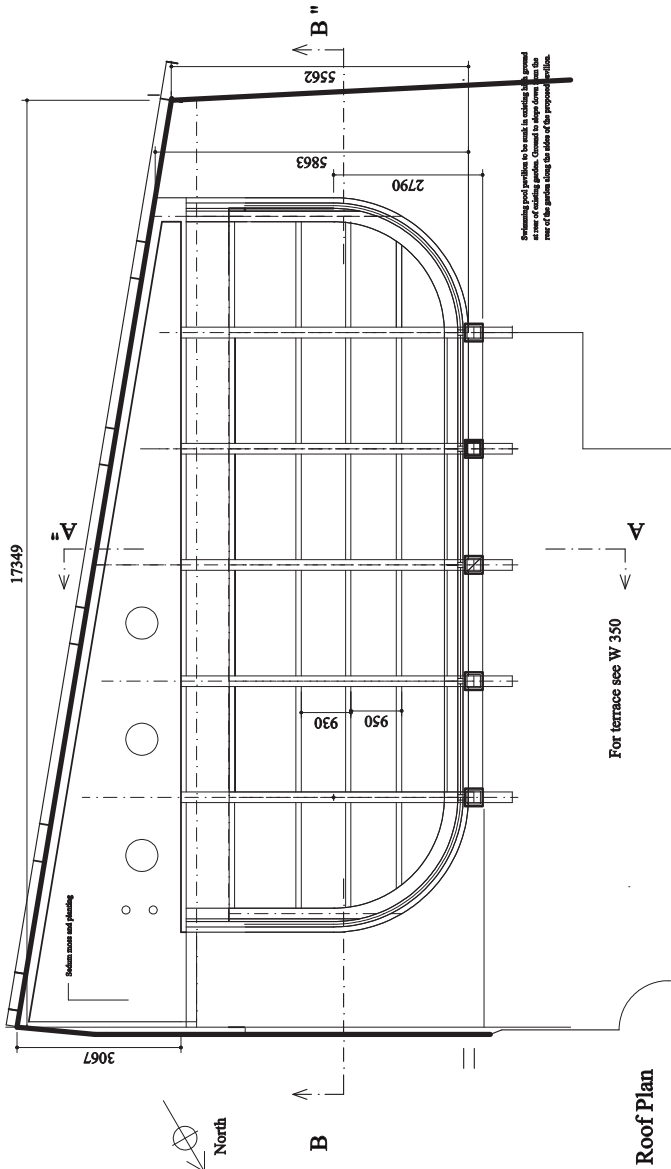
Line 27 m from rear wall

See alternative plans

For pool see dwg W 130

See also drawings foundation





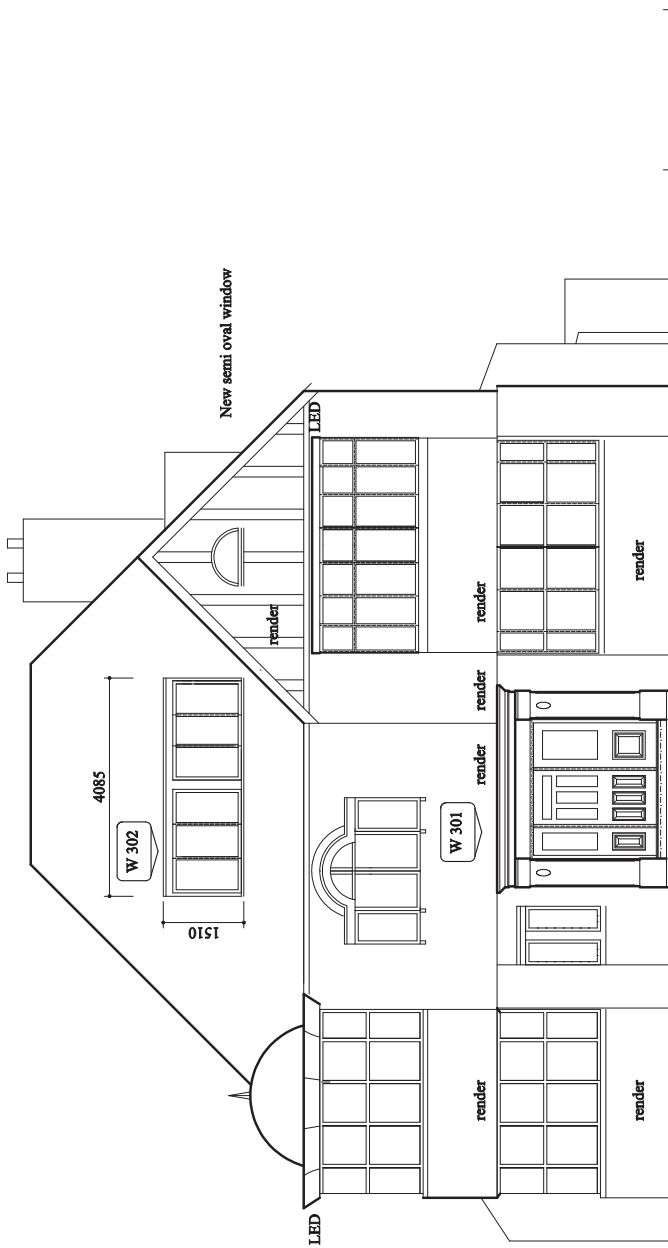
J	12 Jul 2015	New basement down to existing - south tower	Checked
I	19 Oct 2012		Checked
H	29 Aug 2012		Checked
G	01-12-2011	Per approval	Spec OK
F	28-09-2011	Per approval	Spec OK
E	14-02-2011	Approved	Spec OK
D	28-09-2010	Approved	Spec OK
C	25-02-2010	Approved	Spec OK
B			Spec OK
A			Spec OK

Revision: Date:

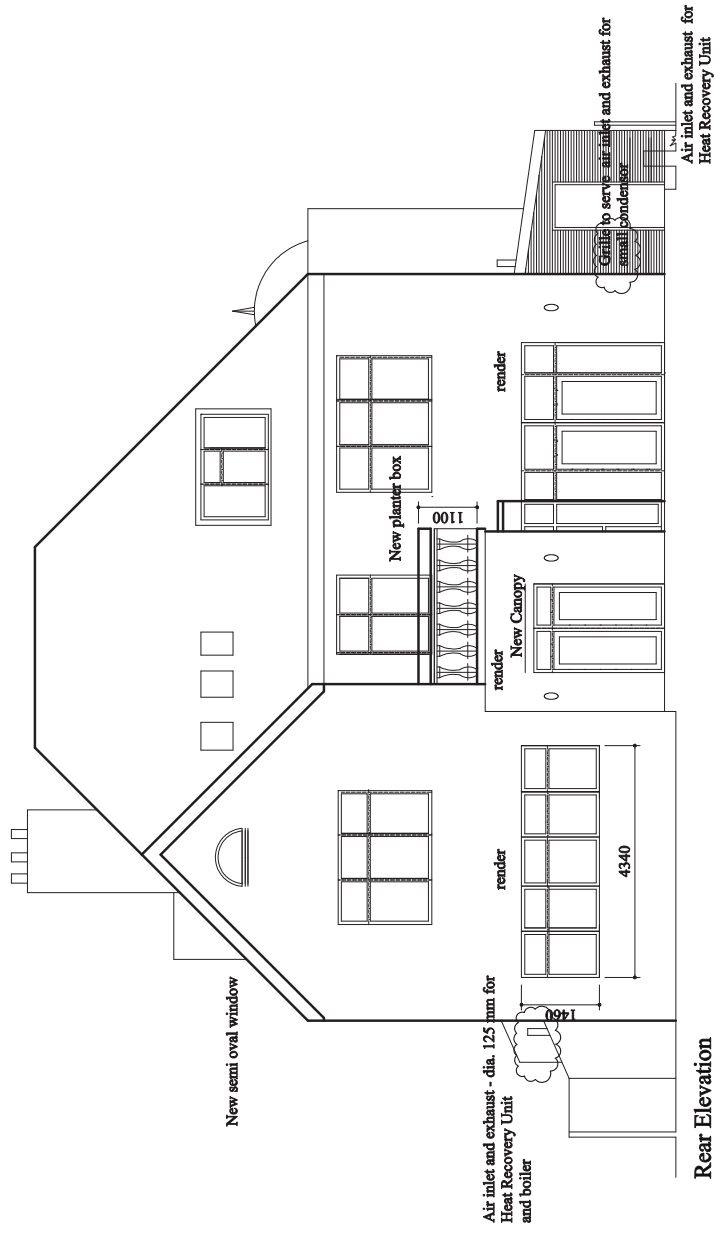
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 Tel: +61 6 4570706
 Fax: +61 6 4570708
 www.simply-architects.com
 100 Murray Road
 West Perth

Project: Murray Road
 Elevation New
 Drawing: Plans, Section and Elevation Swimming Pool
 Scale: 1:100
 Drawing Date: 14
 Project number: Drawing number: P 106

Simply Architects



Front Elevation



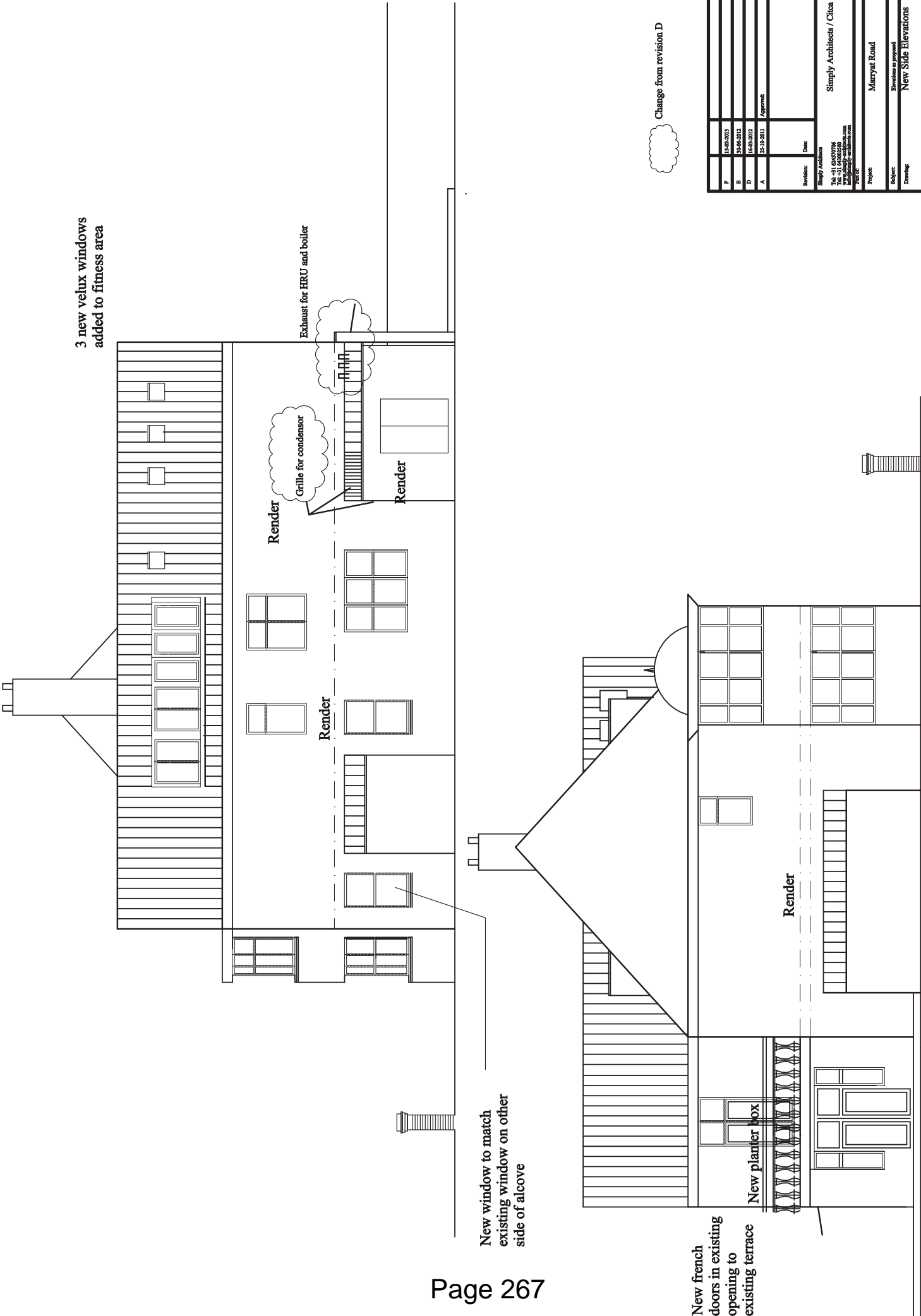
Rear Elevation

Change from previous revision

For entry see drawing W 301
 For dormers see drawing W 302
 For windows see drawing W 030
 All dimensions to be checked on site

Revision	Date	Drawn
F	14-02-2013	
B	20-02-2012	CVF
D	14-02-2012	Approved
A	25-10-2011	Approved
		Drawn CVF
Project		Maryat Road
Subject		Extension as proposed
Drawing		New Front and Rear Elevation
Scale: 1:100		
Drawing Date: 14/02/13		
Project number:		Simply Architects / Chica
Project name:		Simply Architects / Chica
Project address:		Maryat Road
Project description:		Extension as proposed
Project status:		New Front and Rear Elevation
Project number:		Drawing number: P 110

3 new velux windows added to fitness area

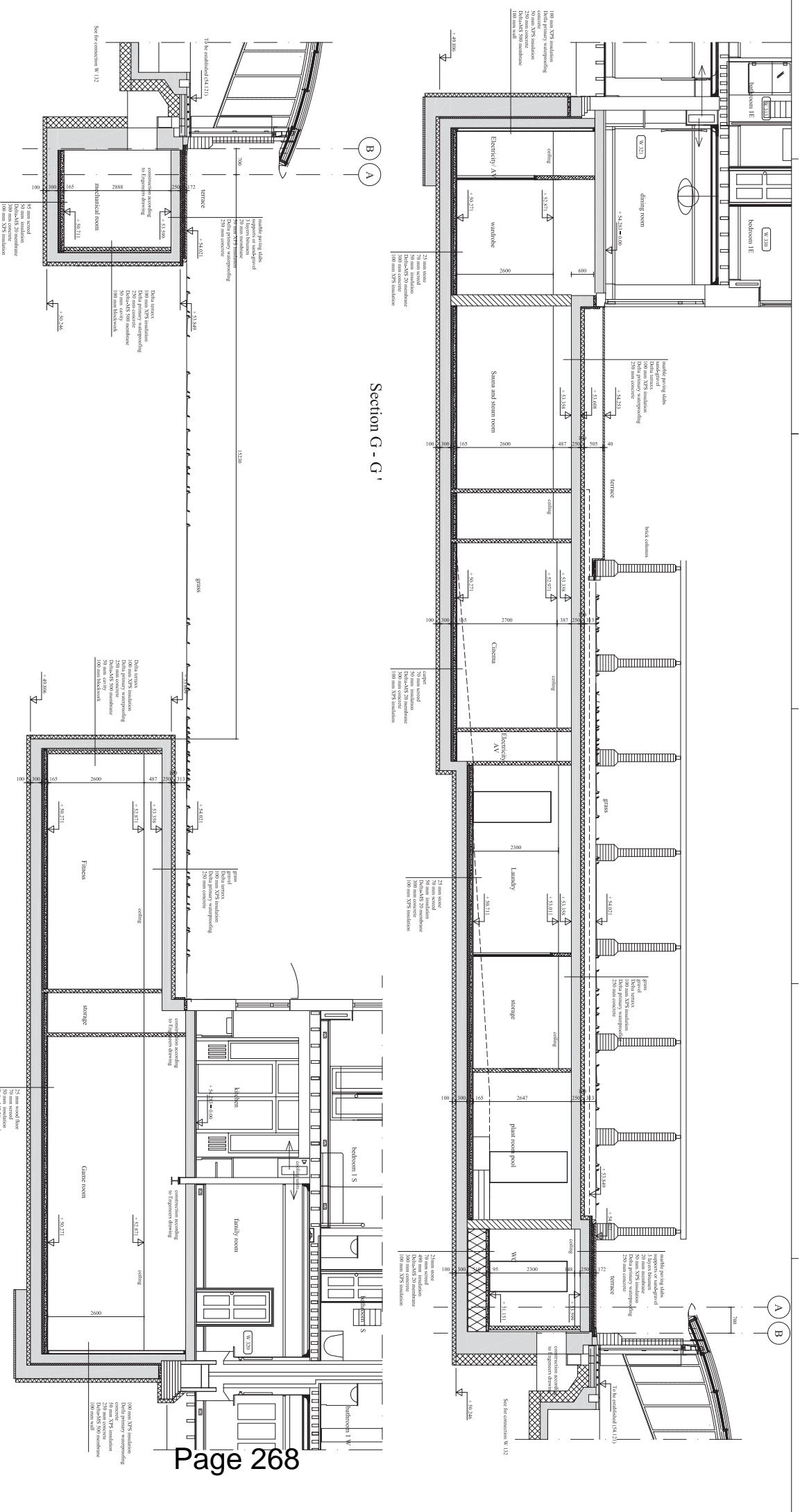


Change from revision D

Revision:	Date:	Drawn by:
F	15-02-2013	
B	19-02-2012	
D	14-02-2012	
A	25-12-2011	Approved:

Project:	Maryat Road
Subject:	Extensions as proposed
Drawing:	New Side Elevations
Scale:	1:100
Drawing Date:	15/02/2013
Project number:	

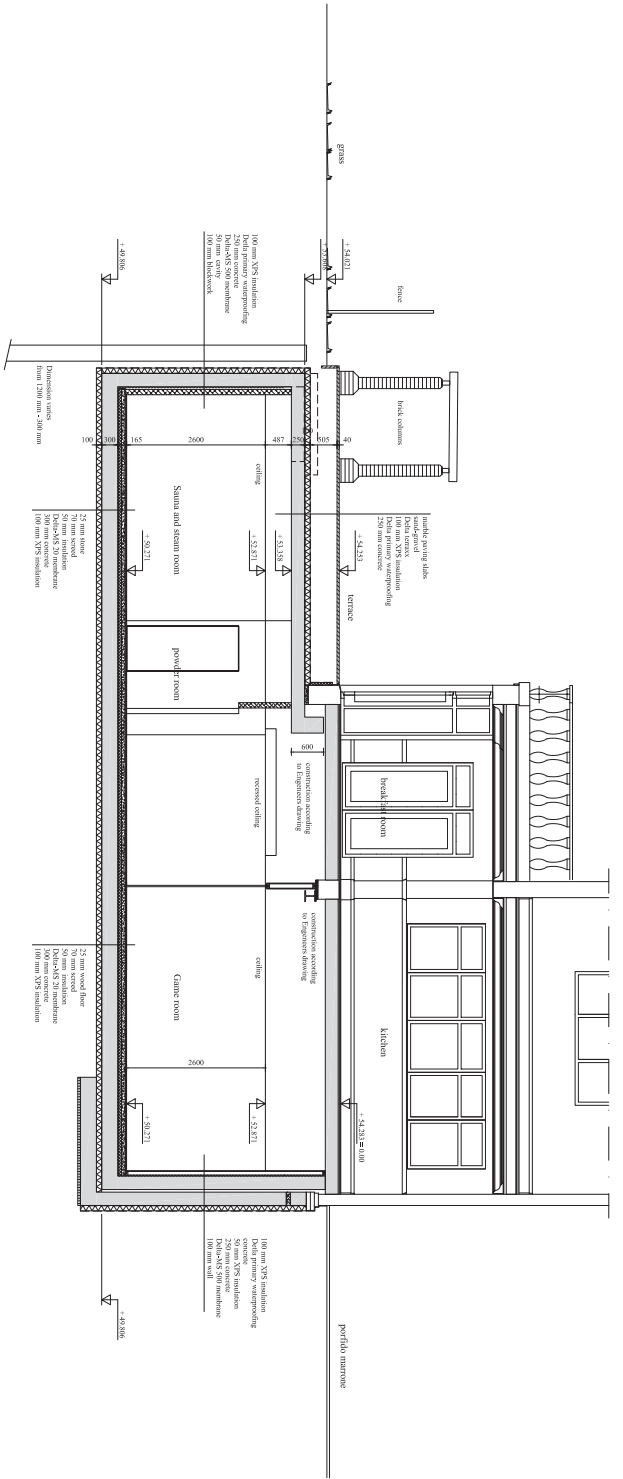
Simply Architects	Simply Architects / Chica
Tel: +31 64507096	
www.simply-architects.com	
info@simply-architects.com	
0900 00 00 00	



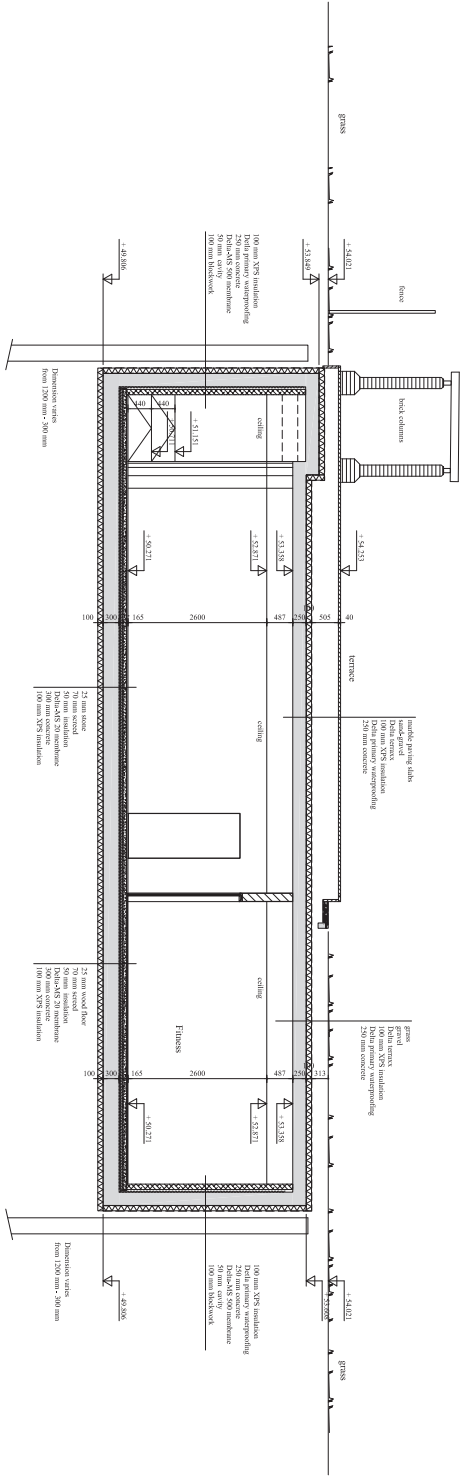
Section H - H'

Section G - G'

Drawn	Checked
Project:	Simply Architects / Chen
Project:	Marygat Road
Subject:	Section Elevation
Drawing:	Section G - G' and H - H'
Scale:	Scale: 1/30
Project number:	20180101
Project name:	Simply Architects



Section J - J'



Section K - K'

Rev.	By	Date	Description
1	JAD/SJK		Issued for construction
2	JAD/SJK		Revised
3	JAD/SJK		Revised
4	JAD/SJK		Revised

Project: Maryat Road
 Drawing: Section J - J' and K - K'
 Scale: 1/40
 Date: 2013-01-11
 Project number: W 136

